

REPAIR STORM DAMAGE & REPLACE ROOF JACKSON READINESS CENTER JACKSON, MISSOURI



Farnsworth
GROUP

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Missouri State Certificate of Authority #000744
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Engineers | Architects | Surveyors | Scientists

SHEET INDEX

G001
G002
S100
A101
A102
A103
A104
A201
A501
A701
I101
I601

DESIGNER:

SHEET TITLE

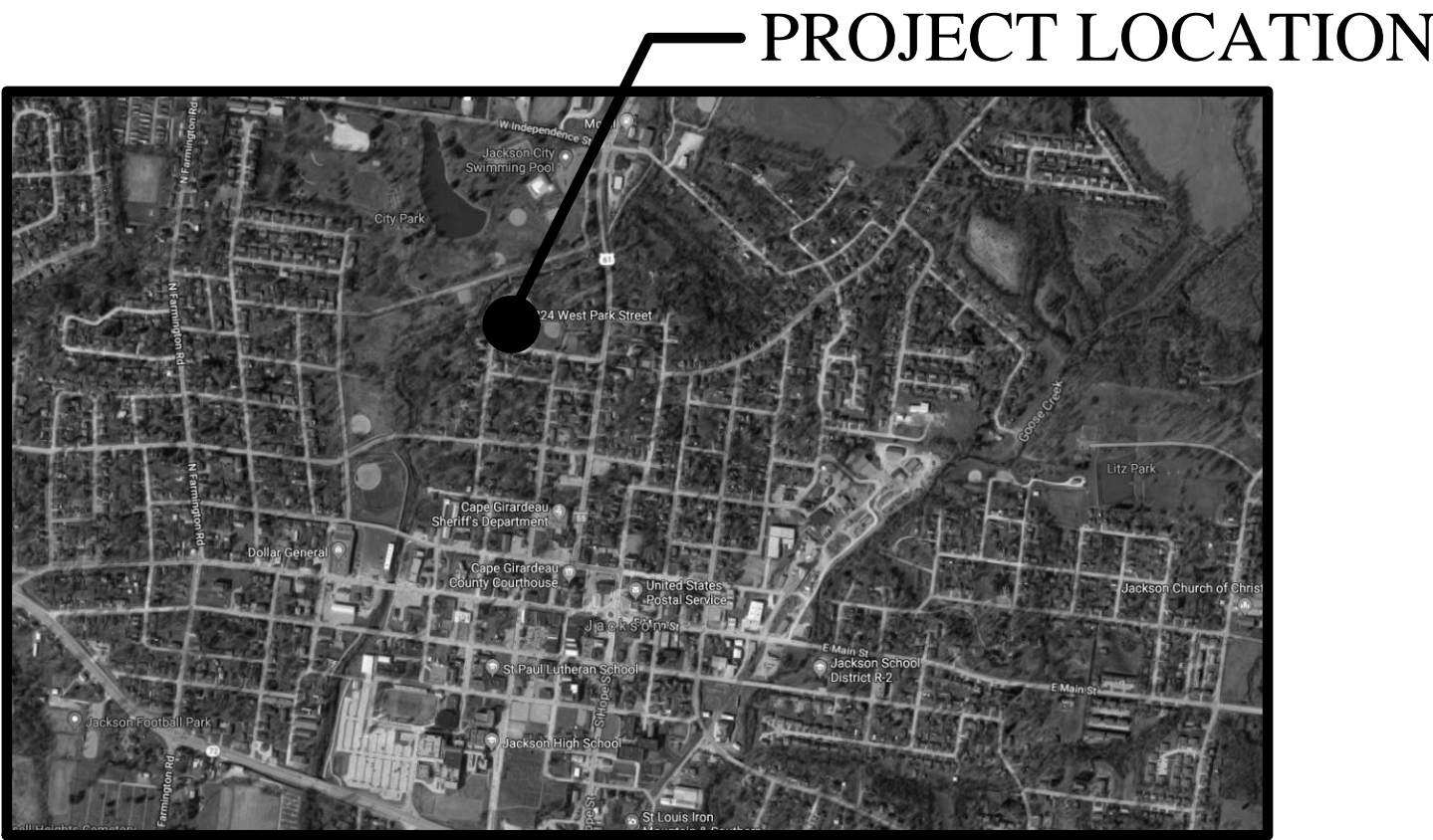
COVER
GENERAL NOTES
ROOF FRAMING PLAN
FLOOR PLAN - DEMO
ROOF PLAN - DEMO
FLOOR PLAN
ROOF PLAN
EXTERIOR ELEVATIONS
ROOF DETAILS
REFLECTED CEILING PLAN
INTERIOR FINISH PLAN
INTERIOR FINISH SCHEDULE

Farnsworth Group, Inc.

OWNER: STATE OF MISSOURI
MICHAEL L. PARSON,
GOVERNOR

DEPARTMENT OF PUBLIC SAFETY
MISSOURI NATIONAL GUARD
OFFICE OF THE ADJUTANT GENERAL
FACILITIES DIVISION

PROJECT MANAGEMENT: OFFICE OF ADMINISTRATION
DIVISION OF FACILITIES MANAGEMENT,
DESIGN AND CONSTRUCTION



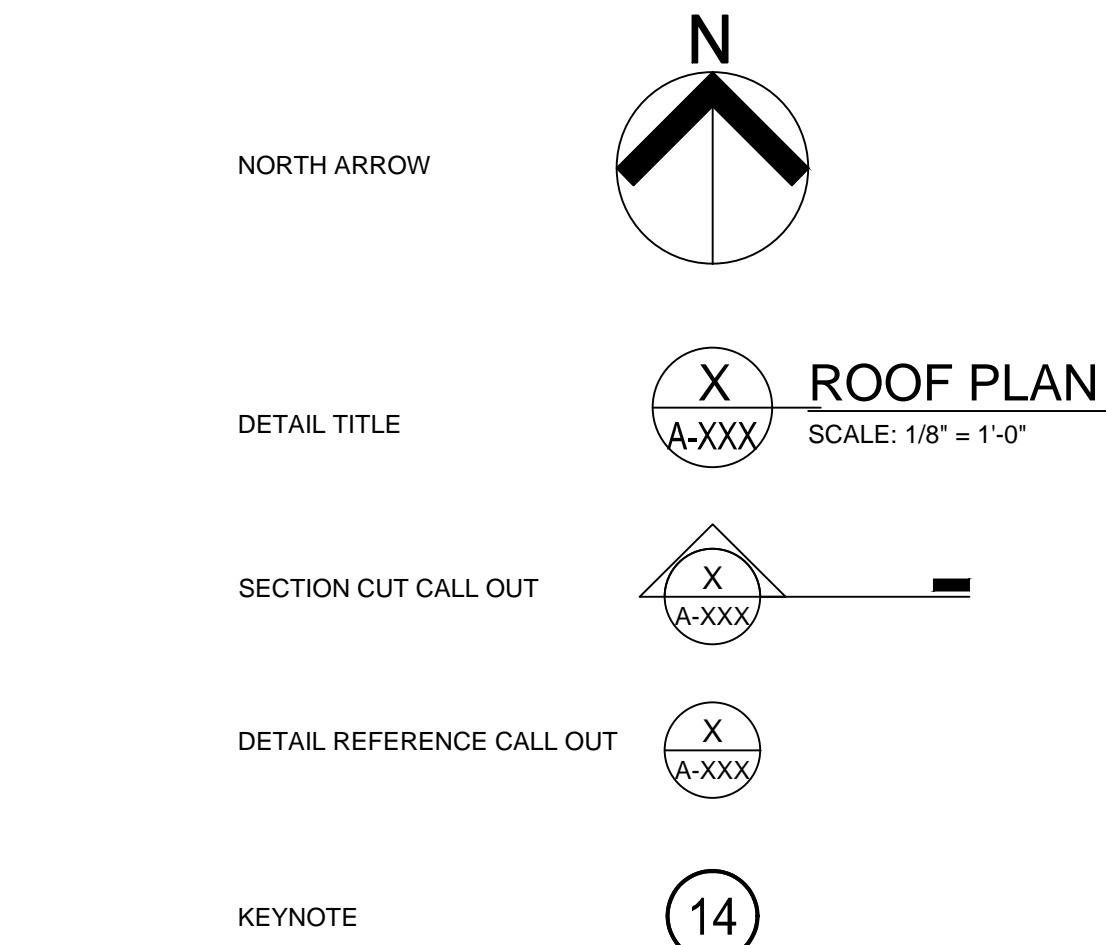
PROJECT NUMBER: T1931-01

SITE NUMBER: 6312
ASSET NUMBER: 8136312001

SHEET NUMBER:

G001

1 OF 12 SHEETS
August 1, 2019



| | | | | | |
|---------|-------------------------|--------|---------------------------|--------|-------------------------|
| AFF | ABOVE FINISHED FLOOR | FD | FLOOR DRAIN | PEB | PRE-ENGINEERED BUILDING |
| ACP/APC | ACOUSTIC CEILING PANEL/ | FE | FIRE EXTINGUISHER | PJF | PREFORMED JOINT FILLER |
| | ACOUSTIC PANEL CEILING | FFE | FINISH FLOOR ELEVATION | PT | PRESSURE TREATED |
| ACT | ACOUSTIC(AL) TILE | FV | FIELD VERIFY | PERIM | PERIMETER |
| ADJ | ADJUSTABLE | FEC | FIRE EXTINGUISHER CABINET | PL | PLATE |
| ADTL | ADDITIONAL | FDN | FOUNDATION | PLAM | PLASTIC LAMINATE |
| AGG | AGGREGATE | FIN | FINISH | PLBG | PLUMBING |
| ALT | ALTERNATE | FLSHG | FLASHING | PLYWD | PLYWOOD |
| AL | ALUMINUM | FLR | FLOOR | PNT | PAINT |
| APPROX | APPROXIMATE(LY) | FRMG | FRAMING | PR | PAIR |
| ASPH | ASPHALT | FT | FOOT/FEET | PTD | PAINTED |
| AUTO | AUTOMATIC | FTG | FOOTING | PWR | POWER |
| | | | | | |
| B/O | BOTTOM OF | GC | GENERAL CONTRACTOR | RB | RUBBER BASE |
| BD | BOARD | GA | GAUGE | RD | ROOF DRAIN |
| BLDG | BUILDING | GALV | GALVANIZED | RO | ROUGH OPENING |
| BLKG | BLOCKING | GEN | GENERAL | RAD | RADIUS |
| BOT | BOTTOM | GYP | GYPSUM | REC | RECESSED |
| BRG | BEARING | | | REINF | REINFORCED |
| | | HM | HOLLOW METAL | REQ'D | REQUIRED |
| C | CENTERLINE | HDWR | HARDWARE | REV | REVISED (REVISION) |
| C/C | CENTER TO CENTER | HOL | HOLLOW | RM | ROOM |
| CJ | CONTROL JOINT | HOR | HORIZONTAL | | |
| CLL | CONTRACT LIMIT LINE | HT | HEIGHT | S | SOUTH |
| CEM | CEMENT(ITIOUS) | HVAC | HEATING/VENTILATION/AIR | SB | SPLASH BLOCK |
| CMU | CONCRETE MASONRY UNIT | | CONDITIONING | SF | SQUARE FEET |
| CLG | CEILING | IDPH | ILLINOIS DEPARTMENT OF | SS | STAINLESS STEEL |
| CLR | CLEAR | | PUBLIC HEALTH | SIM | SIMILAR |
| COL | COLUMN | ID | INSIDE DIAMETER | SPEC | SPECIFICATIONS |
| CONC | CONCRETE | IN | INCH | SQ | SQUARE |
| CONST | CONSTRUCTION | INCL | INCLUDING | STD | STANDARD |
| CONT | CONTINUOUS | INSUL | INSULATION | STL | STEEL |
| CPT | CARPET | INT | INTERIOR | STOR | STORAGE |
| CT | CERAMIC TILE | | | STRUCT | STRUCTURAL |
| CTR | CENTER(ED) | JAN | JANITOR | SUSP | SUSPENDED |
| | | JT | JOINT | | |
| DF | DRINKING FOUNTAIN | LAV | LAVATORY | T&G | TONGUE AND GROOVE |
| DS | DOWNSPOUT | LB(S) | POUND(S) | T/O | TOP OF |
| DBL | DOUBLE | L/S | LANDSCAPE | TELE | TELEPHONE |
| DEG | DEGREE | LT | LIGHT | TRTD | TREATED |
| DEMO | DEMOLITION | | | TS | TUBE STEEL |
| DET/DTL | DETAIL | MO | MASONRY OPENING | TYP | TYPICAL |
| DIA | DIAMETER | MAS | MASONRY | | |
| DIM | DIMENSION | MATL | MATERIAL | UNFIN | UNFINISHED |
| DN | DOWN | MAX | MAXIMUM | UNO | UNLESS NOTED OTHERWISE |
| DWG(S) | DRAWING(S) | MECH | MECHANICAL | VCT | VINYL COMPOSITION TILE |
| | | MFR | MANUFACTURER | VIF | VERIFY IN FIELD |
| E | EAST | MIN | MINIMUM | VERT | VERTICAL |
| EC | ELECTRICAL CONTRACTOR | MISC | MISCELLANEOUS | | |
| EHO | ELECTRICAL HOLD OPEN | MTD | MOUNTED | W | WEST |
| EJ | EXPANSION JOINT | MTL | METAL | W/ | WITH |
| EW | EACH WAY | N | NORTH | WO | WITHOUT |
| EA | EACH | NIC | NOT IN CONTRACT | WC | WATER CLOSET |
| EIFS | EXTERIOR INSULATION | NTS | NOT TO SCALE | WWF | WELDED WIRE FABRIC |
| | FINISH SYSTEM | NOM | NOMINAL | WD | WOOD |
| EL | ELEVATION | | | WH | WATER HEATER |
| ELEC | ELECTRIC(AL) | OC | ON CENTER | WT | WEIGHT |
| ELEV | ELEVATOR | OD | OUTSIDE DIAMETER | | |
| EMER | EMERGENCY | O TO O | OUT TO OUT | | |
| EQ | EQUAL | OPNG | OPENING | | |
| EQUIP | EQUIPMENT | OPP | OPPOSITE | | |
| EXIST | EXISTING | OVHD | OVERHEAD | | |
| EXT | EXTERIOR | | | | |
| EWC | ELECTRIC WATER COOLER | | | | |

DESCRIPTION OF EXISTING CONDITIONS AND SCOPE OF WORK

A.EXISTING CONDITIONS:

1. THE EXISTING ROOFING COMPOSITION IS BELIEVED TO CONSIST OF A FULLY ADHERED EPDM SINGLE-PLY MEMBRANE OVER POLYISOCYANURATE INSULATION BOARD OVER AN EXISTING LIGHTWEIGHT GYPSUM CONCRETE ROOF DECK OVER AN EXISTING METAL ROOF FORM DECK OVER A STEEL BAR JOIST ROOF STRUCTURE. THERE ARE EXISTING METAL ROOF FLASHINGS, GUTTERS AND DOWNSPOUTS PRESENT.
2. THE EXISTING MATERIALS HAVE BEEN TESTED FOR ASBESTOS CONTAINING MATERIALS (ACM). SEE SPECIFICATION FOR TESTING REPORT. FOLLOW METHODS OF REMOVAL AS SPECIFIED.
3. OWNER WILL REMOVE FURNITURE FROM THE OFFICE AREAS.

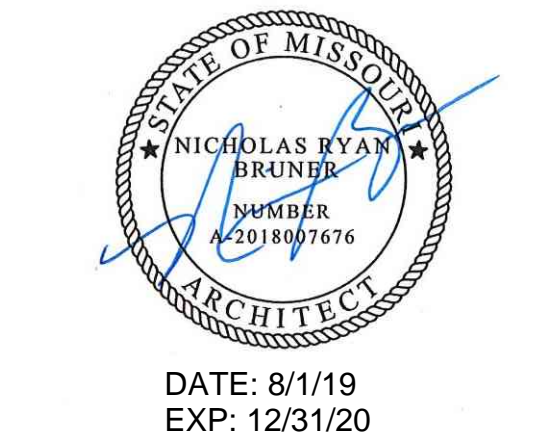
B. WORK INCLUDES THE FOLLOWING:

1. REMOVAL OF ALL EXISTING ROOFING SYSTEM COMPONENTS INCLUDING EPDM MEMBRANE, INSULATION ASSEMBLIES, ADHESIVES, FASTENERS, ETC. DOWN TO THE EXISTING LIGHTWEIGHT GYPSUM CONCRETE ROOF DECK. IF NECESSARY, SELECTIVE METAL ROOF DECKING REPLACEMENT MAY BE REQUIRED IN THE SPECIFIC AREAS INDICATED ON THE ROOF PLAN. THIS INCLUDES ALL EXISTING METAL ROOF FLASHINGS, GUTTERS AND DOWNSPOUTS.
2. REPAIR AND REPLACEMENT OF ANY DETERIORATED LIGHTWEIGHT GYPSUM CONCRETE.
3. INSTALLATION OF NEW TREATED WOOD BLOCKING (PERIMETER, CURBS, ETC.).
4. INSTALLATION OF GYPSUM BOARD SHEATHING MECHANICALLY FASTENED TO LIGHTWEIGHT GYPSUM CONCRETE ROOF DECK.
5. INSTALLATION OF NEW POLYISOCYANURATE ROOF INSULATION UTILIZING ROOFING MANUFACTURER'S APPROVED BONDING ADHESIVE.
6. INSTALLATION OF A NEW FULLY ADHERED TPO ROOFING MEMBRANE ASSEMBLY INCLUDING FLASHINGS, GUTTERS.
7. REPAIRS TO INTERIOR FINISHES DUE TO WATER DAMAGE INCLUDING FLOOR AND WALL FINISHES, PAINTING, AND CEILING REPAIR.

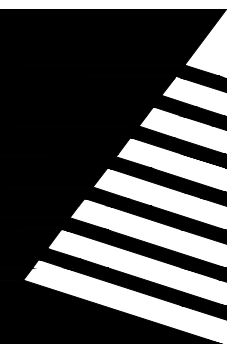
GENERAL NOTES FOR ROOFING WORK (NOTES APPLY TO ENTIRE PROJECT)

1. THESE DRAWINGS HAVE BEEN PREPARED ON THE COMBINED BASIS OF PLANS AND INFORMATION PROVIDED TO OUR OFFICE BY THE USING AGENCY AS WELL AS OBSERVATIONS WE HAVE CONDUCTED AT THE PROJECT SITE. THE GENERAL INTENT OF THESE BIDDING DOCUMENTS (I.E. DRAWINGS AND SPECIFICATIONS) IS TO ILLUSTRATE THE PHYSICAL CONDITIONS PRESENT AT THE PROJECT SITE.
2. PRIOR TO SUBMITTING THEIR BID, EACH CONTRACTOR IS REQUIRED TO VERIFY ALL CONDITIONS AT THE PROJECT SITE AND FULLY INFORM THEMSELVES OF ALL EXISTING CONDITIONS THAT MAY AFFECT THEIR WORK. EACH CONTRACTOR SHALL INSPECT ALL AREAS WHERE RE-ROOFING WORK IS SCHEDULED TO BE PERFORMED AND SHALL INCLUDE IN THEIR BIDS ANY ADDITIONAL WORK THAT MAY BE REQUIRED IN ORDER TO PERFORM THE SPECIFIED WORK.
3. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTION OF ANY AND ALL DAMAGES TO THE SITE, BUILDING AND/OR CONTENTS INCURRED AS A RESULT OF THE CONTRACTOR'S (OR SUB-CONTRACTOR'S, SUPPLIERS, ETC.) WORK OPERATIONS TO THE SATISFACTION OF THE USING AGENCY AND ARCHITECT. SUCH CORRECTIVE WORK MUST BE PERFORMED AT NO ADDITIONAL COST TO THE USING AGENCY OR ARCHITECT.
4. THE CONTRACTOR SHALL CONFINE THEIR WORK OPERATIONS TO THOSE AREAS WHICH ARE SPECIFICALLY SCHEDULED FOR RE-ROOFING WORK AND MUST COORDINATE ALL WORK WITH THE USING AGENCY IN ORDER TO AVOID AND/OR MINIMIZE THE DISRUPTION OF NORMAL BUILDING OPERATION.
5. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL AREAS OF WORK WATERTIGHT AT ALL TIMES THROUGHOUT THE DURATION OF THE ENTIRE PROJECT.
6. THE USING AGENCYS MAINTENANCE PERSONNEL, STAFF AND ADMINISTRATION WILL OCCUPY THE BUILDING DURING THE RE-ROOFING CONSTRUCTION PERIOD. WHEREVER WORK OPERATIONS OCCUR NEXT TO A BUILDING ENTRANCE, THE CONTRACTOR MUST PROVIDE PROTECTIVE BARRIERS OR BARRICADES TO ALLOW PROPER AND ADEQUATE BUILDING ACCESS AND UNOBSTRUCTED EGRESS.
7. THE CONTRACTOR IS REQUIRED TO COMMUNICATE WITH BOTH THE USING AGENCY AND THE ARCHITECT ON A DAILY BASIS OF THE CURRENT WORK SCHEDULE SO PROPER COORDINATION AND SCHEDULING FOR OBSERVATION OF WORK AND COORDINATION WITH AGENCY ACTIVITIES CAN OCCUR.
8. ALL RE-ROOFING WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS PREPARED BY THE ARCHITECT; HOWEVER, IN NO CASE SHALL RE-ROOFING INSTALLATION DEVIATE FROM THE ROOFING SYSTEM MANUFACTURER'S MINIMUM WARRANTY REQUIREMENTS. IF ANY SUCH DISCREPANCIES OCCUR, THE CONTRACTOR MUST NOTIFY THE ARCHITECT IMMEDIATELY. RESOLUTION MUST BE MADE BEFORE PROCEEDING WITH ANY SUCH WORK.
9. UNLESS NOTED OTHERWISE, ALL NEW SHEET METAL WORK ASSOCIATED WITH RE-ROOFING WORK SHALL COMPLY WITH RECOMMENDATIONS AND DETAILS IN THE MOST CURRENT EDITION OF 'ARCHITECTURAL SHEET METAL MANUAL' PUBLISHED BY SMACNA. SEE DETAILS FOR TYPE, GAUGE AND FINISH OF NEW SHEET METAL COMPONENTS.
10. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE EXISTING ROOF DECK SURFACE AT EACH ROOF AREA JUST PRIOR TO THE INSTALLATION OF THE NEW ROOFING SYSTEM AND REMOVE ALL NAILS, FASTENERS AND OTHER FOREIGN MATERIAL, WHEREAS TO PROVIDE A REASONABLY SMOOTH SURFACE FOR THE APPLICATION OF NEW ROOFING MATERIALS.
11. ALL NEW TAPERED INSULATION CRICKETS AND ROOF SADDLES INDICATED ON THE DRAWINGS SHALL UTILIZE A 1/2" PER FOOT TAPERED POLYISOCYANURATE INSULATION SYSTEM (POLYISO).
12. EXCEPT AS OTHERWISE INDICATED ON THE DRAWINGS, ALL WOOD BLOCKING AND PLYWOOD SHALL BE PRESSURE TREATED. ALL FASTENERS INSTALLED EITHER IN CONTACT OR FOR INSTALLATION OF PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL OR HAVE A CORROSION-RESISTANT COATING SPECIFICALLY DESIGNED AND SUITABLE FOR USE WITH PRESSURE TREATED WOOD.
13. SEALANT FOR EXTERIOR JOINTS SHALL BE ONE AND/OR TWO PART POLYURETHANE, SOFT CURING, NON-STAINING, OF GUN CONSISTENCY IN COLOR TO CLOSELY MATCH ADJACENT MATERIALS. CLEAN AND PRIME ALL JOINTS AS REQUIRED PRIOR TO SEALANT INSTALLATION.
14. CONTRACTOR SHALL RAISE AND EXTEND ALL EXISTING EXHAUST FANS, AND EQUIPMENT CURBS TO PROVIDE A MINIMUM CLEARANCE OF 12" ABOVE FINISHED ROOF LEVEL. THE CONTRACTOR SHALL INCLUDE IN THEIR BID THE EXTENSION OF ALL EXISTING PIPING, DUCTWORK AND/OR ELECTRICAL WORK AS MAY BE REQUIRED TO ACCOMMODATE THE ADDITIONAL CURB HEIGHTS. PROVIDE A CONTINUOUS SEAL STRIP ON TOP OF LEVEL CURBS PRIOR TO RESETTING UNITS. NEW CURB EXTENSIONS SHALL MATCH EXISTING CURB PROFILES AND BLOCKING THICKNESS. THE CONTRACTOR SHALL TEST RUN EACH POWER ROOF EXHAUST AND/OR HANDLING UNIT, IN THE PRESENCE OF THE ARCHITECT'S REPRESENTATIVE OR USING AGENCY PRIOR TO DISCONNECTING AND RAISING THE UNIT AND EXTENDING THE CURBS. THIS INCLUDES BUT IS NOT LIMITED TO ALL ANCILLARY GAS PIPING, ELECTRICAL CONNECTIONS, DUCTWORK, ETC.
15. RAISE AND EXTEND EXISTING ALL PLUMBING VENTS AS REQUIRED TO OBTAIN A MINIMUM CLEARANCE OF 12" FROM THE TOP OF THE PLUMBING VENT FLASHING TO TOP OF THE NEW ROOF (I.E. ABOVE FINISHED ROOF LEVEL).
16. THE CONTRACTOR SHALL NOT TRAFFIC UPON, OR STORE MATERIALS ON ANY EXISTING ROOF AREAS WHICH ARE NOT A PART OF THIS CONTRACT.

STATE OF MISSOURI
MICHAEL L. PARSON,
GOVERNOR



DATE: 8/1/19
EXP: 12/31/20



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REPAIR STORM DAMAGE
& REPLACE ROOF

JACKSON
READINESS CENTER
224 W PARK ST.

JACKSON, MISSOURI
63755

PROJECT # T1931-01
SITE # 6312
ASSET # 8136312001

REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
REVISION: _____
DATE: _____

ISSUE DATE: 08/01/2019

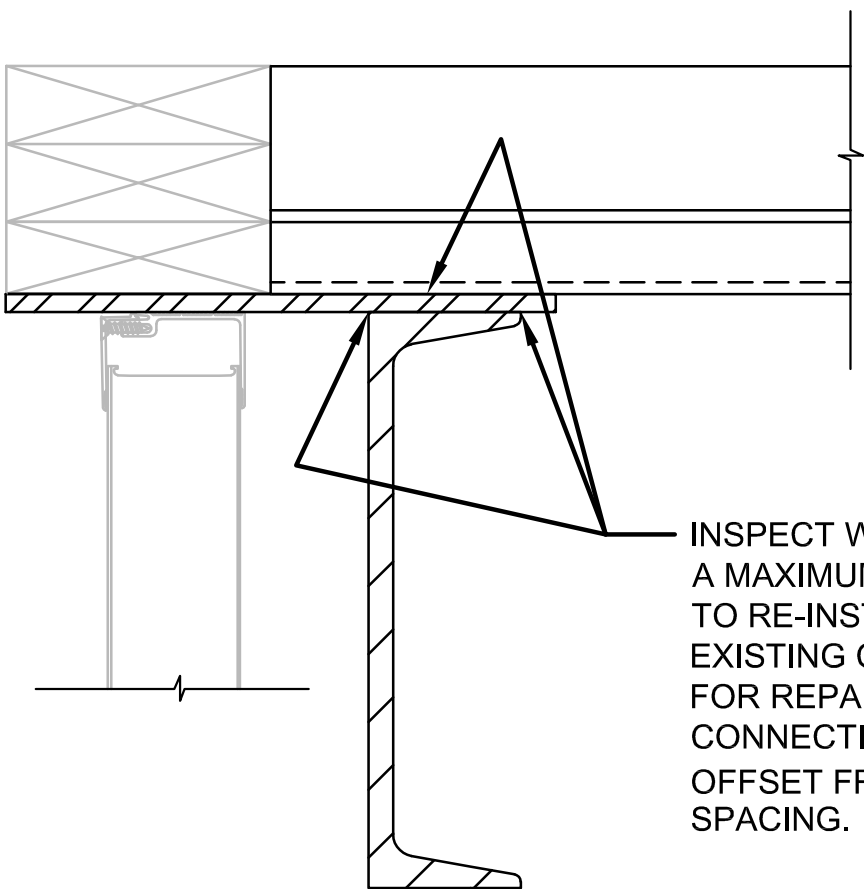
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DRAWN BY: NWK
CHECKED BY: NRB
DESIGNED BY: BTW

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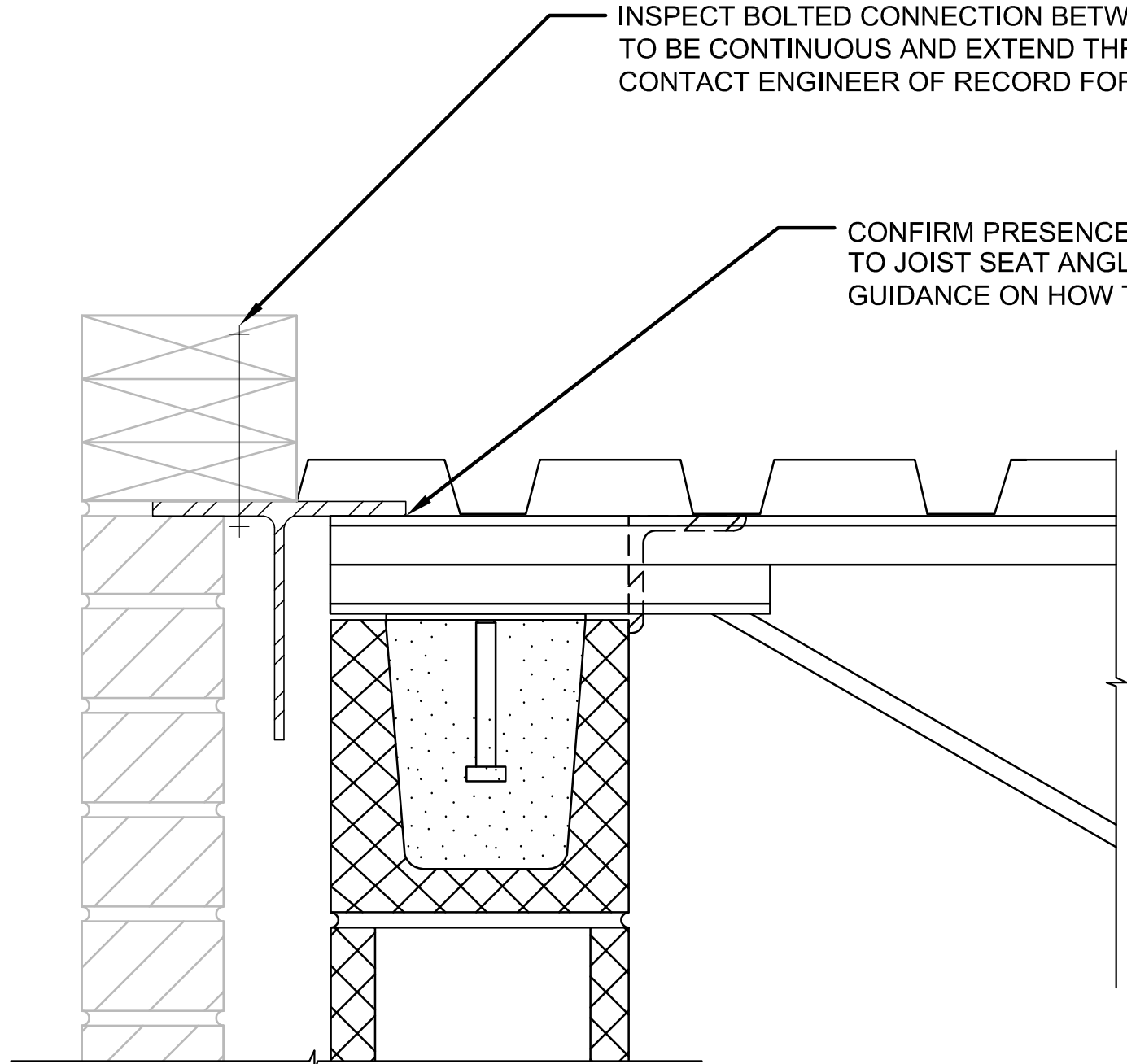
GENERAL NOTES

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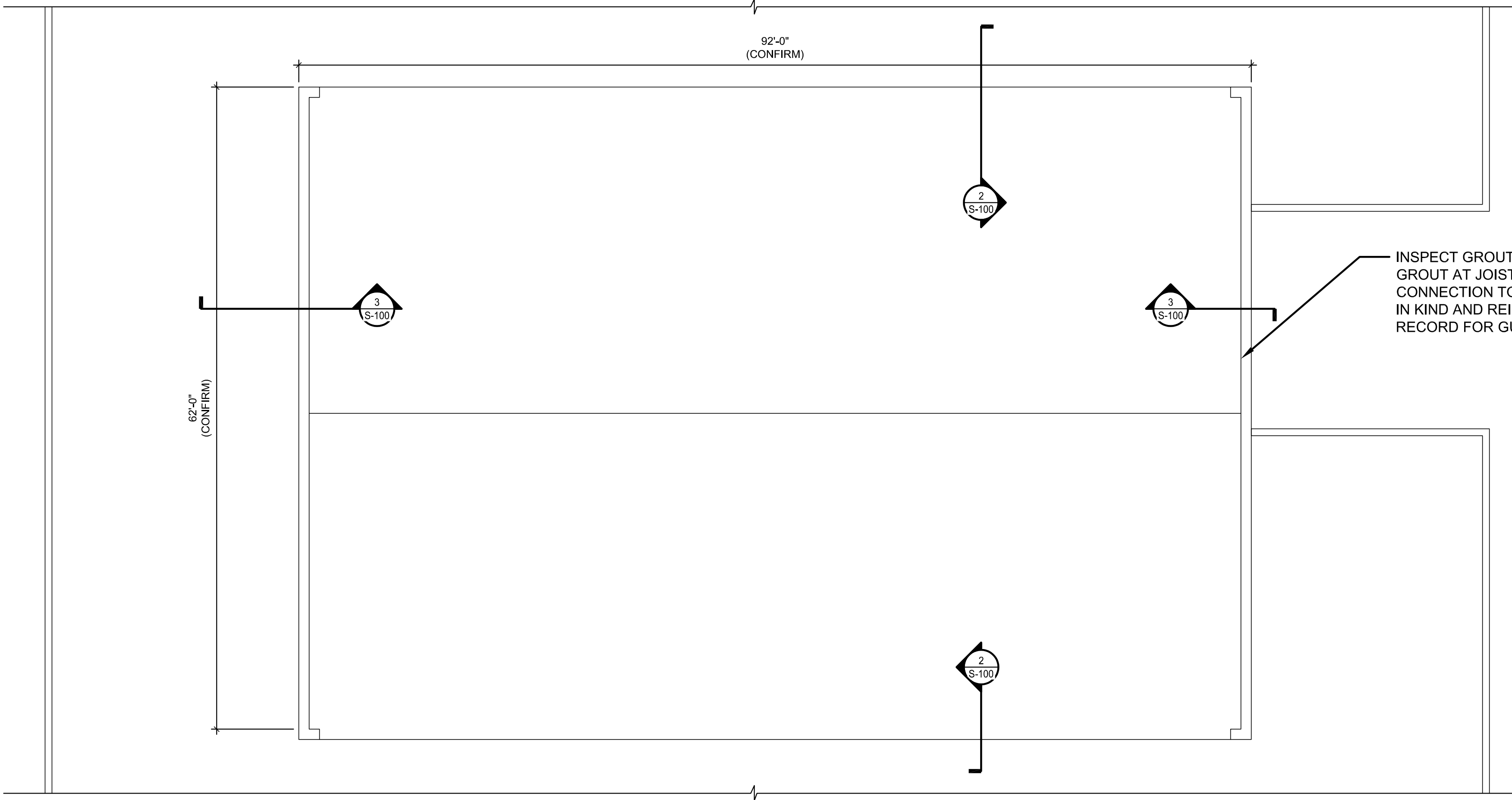
G002



2 SECTION @ PERIMETER CHANNEL
S-100 SCALE: 1 1/2" = 1'-0"

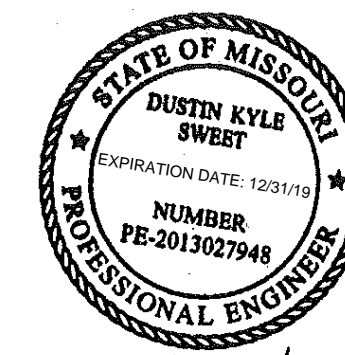


3 SECTION @ JOIST BEARING
S-100 SCALE: 1 1/2" = 1'-0"

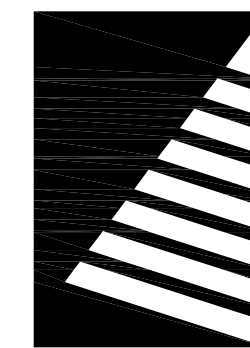


1 ROOF STRUCTURAL PLAN
S-100 SCALE: 1/8" = 1'-0"

STATE OF MISSOURI
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SEAL DATE: 08/05/2019



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DESIGNED BY: DKS

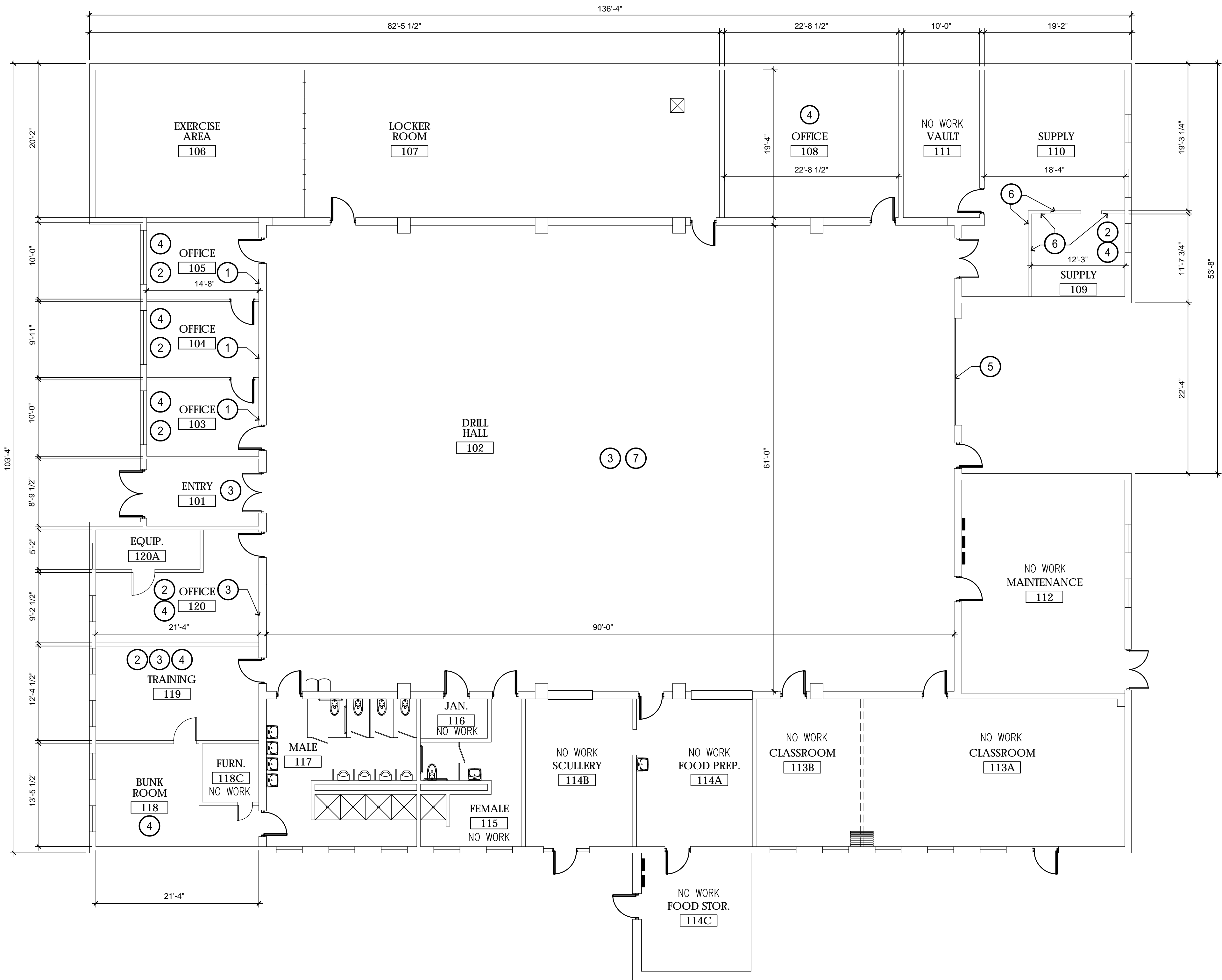
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ROOF FRAMING PLAN

SHEET NUMBER:

S-100

9 OF 11 SHEETS
August 01, 2019



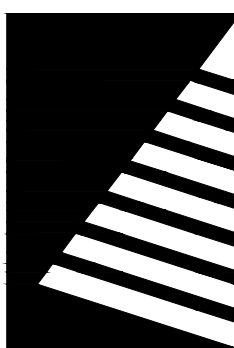
KEYNOTES

- 1 REMOVE GYP. BD. UP TO 2'-0" .
- 2 REMOVE WALL BASE.
- 3 PREP. WALL FOR PAINT.
- 4 REMOVE FLOORING - PREP FOR NEW FLOOR FINISH - SEE INTERIOR DRAWINGS.
- 5 REMOVE EXISTING OVERHEAD DOOR, TRACK, AND DOOR OPENER.
- 6 REMOVE WALL PANEL FOR INSPECTION.
- 7 PREP FOR DECK/ STRUCTURE PAINT.

STATE OF MISSOURI
MICHAEL L. PARSON,
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EXP: 12/31/20



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DESIGNED BY: BTW

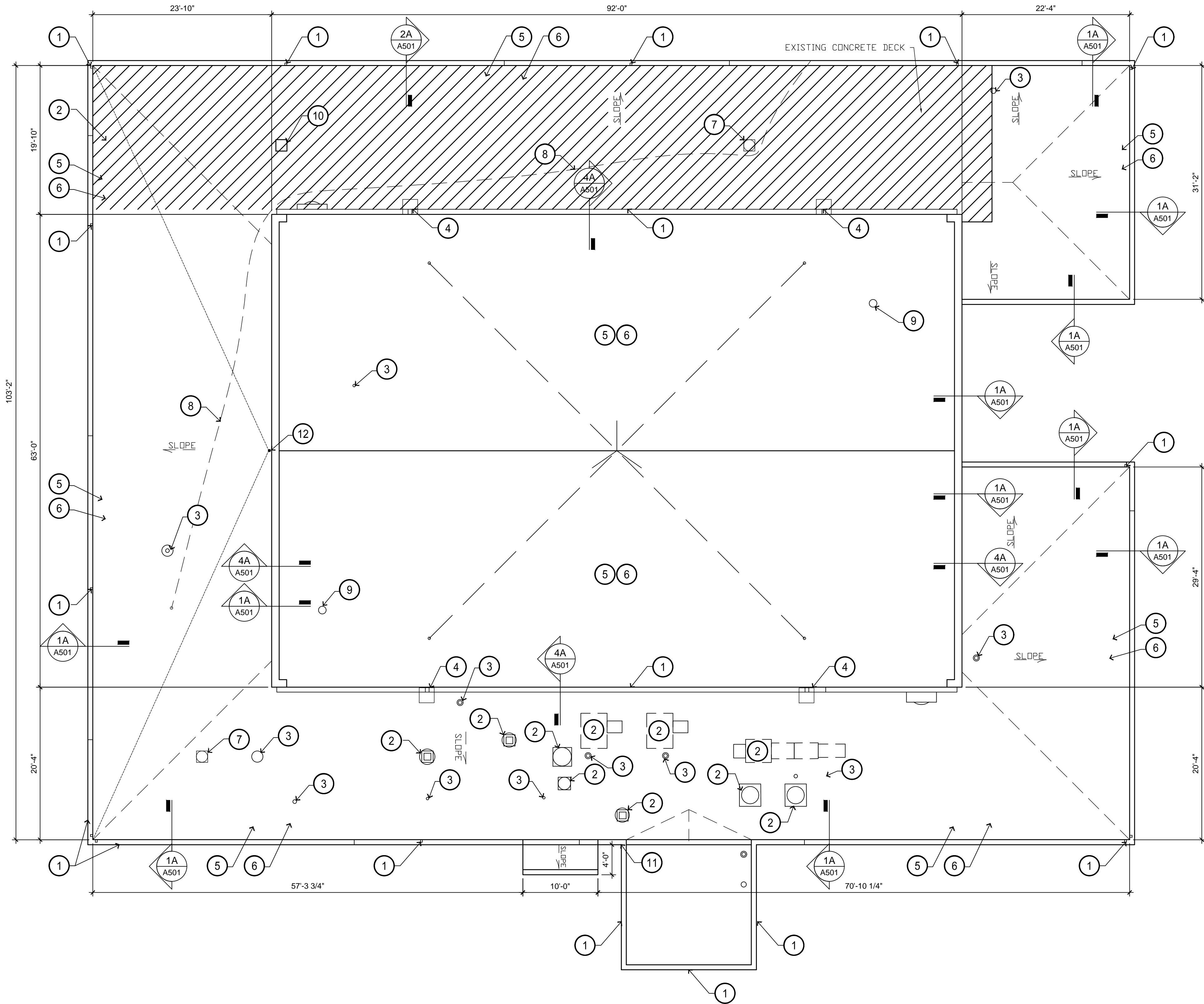
SHEET TITLE:

FLOOR PLAN -
DEMO

SHEET NUMBER:

A101

4 OF 12 SHEETS
August 1, 2019



GENERAL NOTES:

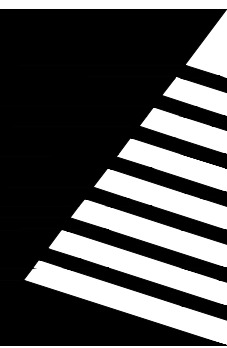
1. CONTRACTOR SHALL FIELD VERIFY ALL BUILDING CONDITIONS AND DIMENSIONS
2. THE CONSTRUCTION DETAILS ON THE FOLLOWING SHEETS ARE FOR REFERENCE ONLY
3. THE TAPERED INSULATION LAYOUT IS FOR REFERENCE ONLY. THE SUBMITTED TAPERED LAYOUT MUST MEET ASHRAE REQUIREMENTS BASED ON STATE OF MISSOURI ROOF PROJECT MANUAL.
4. THE NEW ROOF SHALL HAVE A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS NOTED OTHERWISE
5. THE NEW ROOF SHALL HAVE A 15 YEAR WARRANTY.
6. EXISTING ROOFING AND INSULATION SHALL BE REMOVED DOWN TO THE EXISTING METAL/CONCRETE DECK AND REPLACED WITH TAPERED INSULATION AND FULLY ADHERED TPO SINGLE PLY ROOF MEMBRANE.
7. EXISTING ANTENNA TO BE REMOVED.
8. THE CAULKING, GLAZING, AND ROOFING MATERIALS CONTAIN ASBESTOS. TESTING PENDING.
9. 1/2" PER 1" SLOPE CRICKETS, REQUIRES TO SHED WATER AT MECHANICAL UNITS, REFERENCE STATE OF MISSOURI ROOF PROJECT MANUAL

KEYNOTES

- 1 REMOVE EXISTING ROOF GUTTER AND DOWNSPOUT ASSEMBLY.
- 2 DISCONNECT AND TEMPORARILY REMOVE EXISTING MECHANICAL UNIT OR FAN ASSEMBLY ATOP CURB TO ACCOMMODATE NEW WORK. SEE DETAIL 3A/A501 FOR CURB DEMO INFORMATION.
- 3 PROTECT EXISTING PIPING THRU ROOF
- 4 REMOVE DOWNSPOUT SPLASHPAD.
- 5 REMOVE EXISTING INSULATION.
- 6 REMOVE EXISTING MEMBRANE ROOF ASSEMBLY.
- 7 REMOVE EXISTING EQUIPMENT.
- 8 REMOVE EXISTING COAX CABLE.
- 9 REINSTALL PIPING AS REQUIRED FOR EXISTING HEATERS.
- 10 REMOVE EXISTING ROOF POP-UP AND PATCH HOLE.
- 11 REMOVE DOWNSPOUT
- 12 REMOVE EXISTING ANTENNA AND ALL ASSOCIATED ITEMS



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DESIGNED BY: BTW

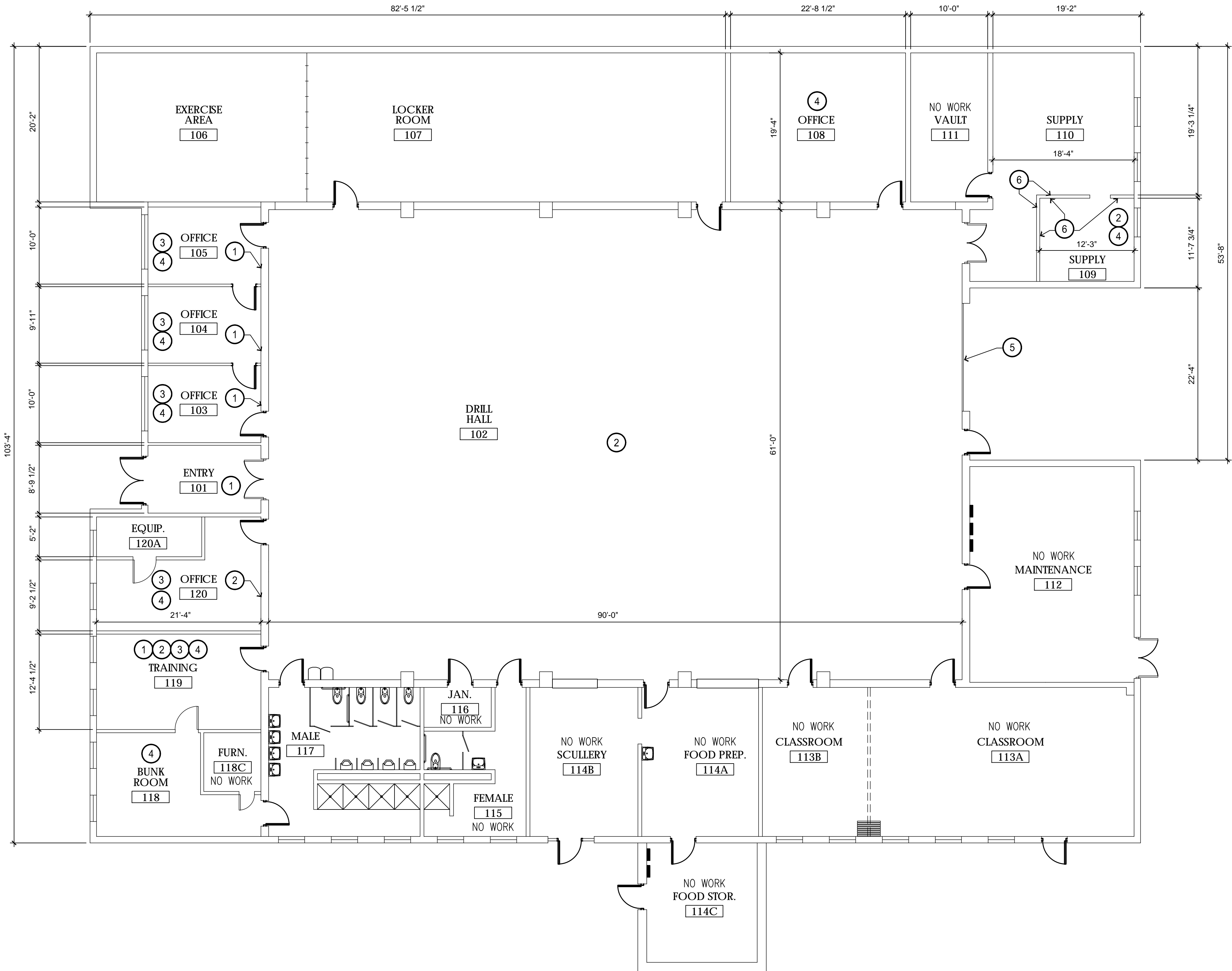
SHEET TITLE:

ROOF PLAN -
DEMO

SHEET NUMBER:

A102

5 OF 12 SHEETS
August 1, 2019



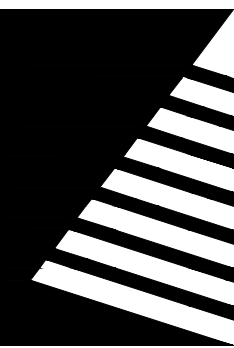
KEYNOTES

- 1 INSTALL GYP. BD. UP TO 2'-0"
- 2 PAINT WALL - SEE INTERIOR DRAWINGS
- 3 INSTALL NEW WALL BASE - SEE INTERIOR DRAWINGS
- 4 INSTALL NEW FLOORING - SEE INTERIOR DRAWINGS
- 5 INSTALL NEW GARAGE DOOR AND DOOR OPENER
- 6 REINSTALL OR REPLACE PANELING

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MANAGEMENT, DESIGN
AND CONSTRUCTION

DEPARTMENT OF
PUBLIC SAFETY
MISSOURI NATIONAL
GUARD OFFICE OF THE
ADJUTANT GENERAL
FACILITIES DIVISION

REPAIR STORM DAMAGE
& REPLACE ROOF

JACKSON
READINESS CENTER
224 W PARK ST.
JACKSON, MISSOURI
63755

PROJECT # T1931-01
SITE # 6312
ASSET # 8136312001

REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
REVISION: _____
DATE: _____

ISSUE DATE: 08/01/2019

CAD DWG FILE: T1931-01.6312.A103
DRAWN BY: NWK
CHECKED BY: NRB
DESIGNED BY: BTW

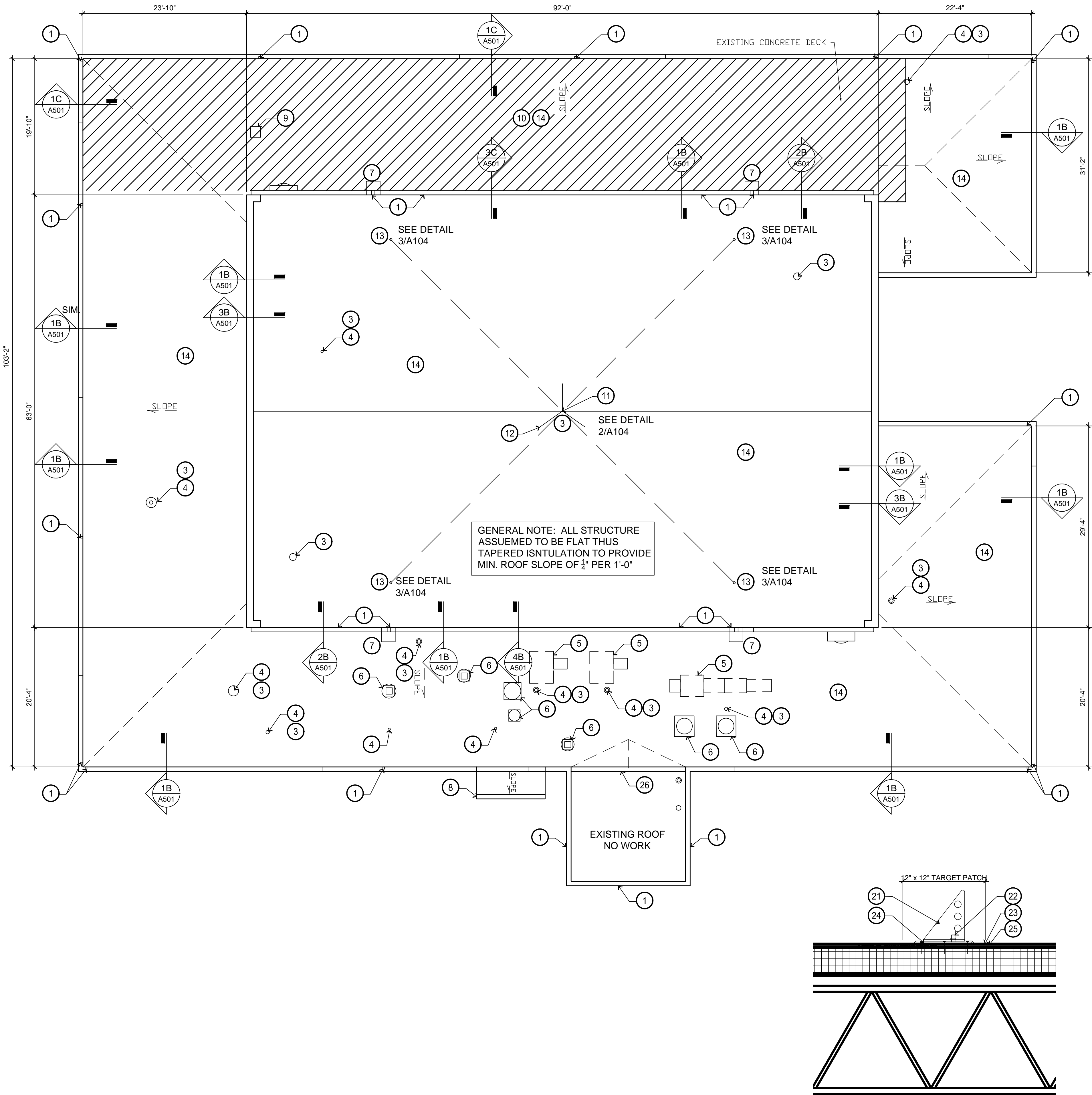
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FLOOR PLAN

SHEET NUMBER:

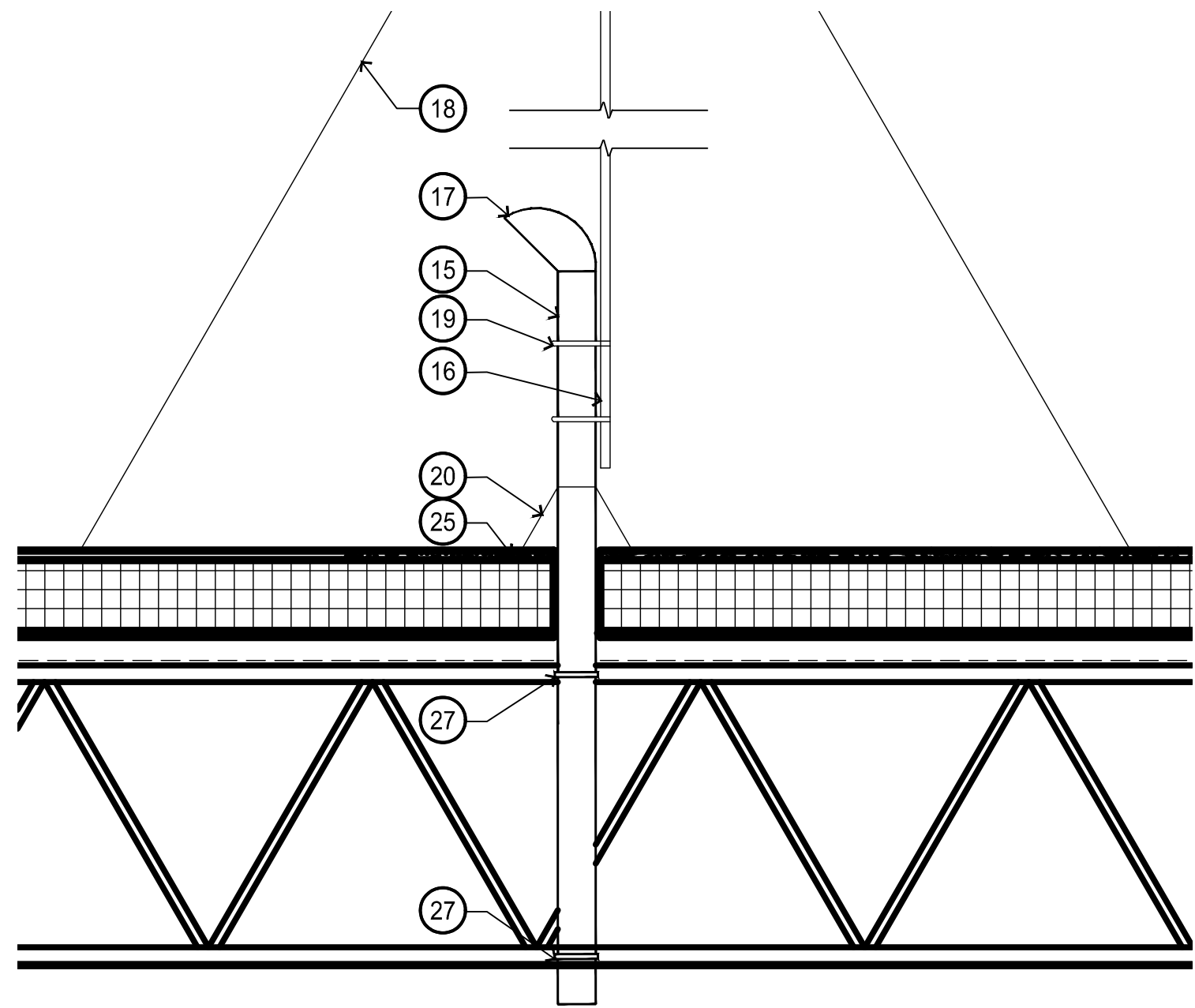
A103

6 OF 12 SHEETS
August 1, 2019



1 ROOF PLAN
A104 SCALE: 1/8" = 1'-0"

2 HF ANTENNA MAST DETAIL
A104 SCALE: 1/8" = 1'-0"



3 ANTENNA ROOF PENETRATION DETAIL
A104 SCALE: 1/8" = 1'-0"

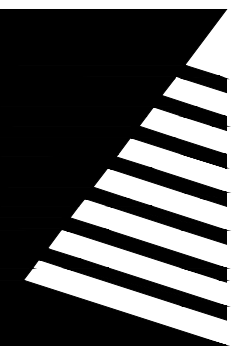
KEYNOTES

- 1 NEW GUTTER AND DOWNSPOUT ASSEMBLY - MATCH EXISTING
- 2 EXISTING MECHANICAL UNIT ASSEMBLY ATOP CURB
- 3 NEW PIPE SEAL AT EXISTING PIPING THRU ROOF
- 4 EXISTING PIPING THRU ROOF
- 5 REINSTALL EXISTING MECHANICAL UNIT ASSEMBLY ATOP NEW ROOFING OVER CURB.
- 6 REINSTALL EXISTING EXHAUST FAN ASSEMBLY ATOP NEW ROOFING OVER CURB
- 7 NEW DOWNSPOUT PRE-CAST CONCRETE SPLASHPAD
- 8 PROTECT EXISTING ROOF GUTTER AND DOWNSPOUT ASSEMBLY TO REMAIN
- 9 INFILL EXISTING ROOF POP-UP
- 10 HATCH INDICATES CONCRETE DECK ABOVE VAULT AREA BELOW (FIELD VERIFY) - PROTECT EXISTING CONCRETE
- 11 1" DIA. 12'-0" ALUM. ANTENNA POLE, NEW PIPE SEAL, INSTALL PER MANUFACTURER'S INSTRUCTIONS
- 12 GUY WIRE ANCHORS SPACED EVENLY FROM CENTER ON 4' RADIUS - ANCHOR TO STRUCTURE - INSTALL PER OWNER'S INSTRUCTIONS
- 13 ANTENNA ANCHORS SPACED EVENLY - ANCHOR TO STRUCTURE
- 14 NEW FULLY ADHERED TPO ROOFING ASSEMBLY
- 15 2" GALV. STEEL PIPE
- 16 1" ALUM. POLE
- 17 WEATHER HEAD
- 18 GUY WIRE
- 19 STAINLESS STEEL PIPE CLAMPS
- 20 BOOT/FLASH COMPATIBLE WITH ROOF MATERIAL
- 21 STAINLESS STEEL BRACKET
- 22 THREADED BOLT W/ NEOPRENE WASHER AND NUT
- 23 MANUFACTURER ACCEPTABLE SEALANT (TYP.)
- 24 STAINLESS STEEL BASE PLATE
- 25 ROOF MEMBRANE
- 26 EXISTING ROOF CRICKET TO BE REPLACED - TIE NEW ROOFING INTO EXISTING EXPANSION JOINT
- 27 SECURE WITH U-CLAMPS AT TOP AND BOTTOM OF BAR JOIST

STATE OF MISSOURI
MICHAEL L. PARSON,
GOVERNOR



DATE: 8/1/19
EXP: 12/31/20



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ISSUE DATE: 08/01/2019

CAD DWG FILE:
T1931-01.6312.A104
DRAWN BY: NWK
CHECKED BY: NRB
DESIGNED BY: BTW

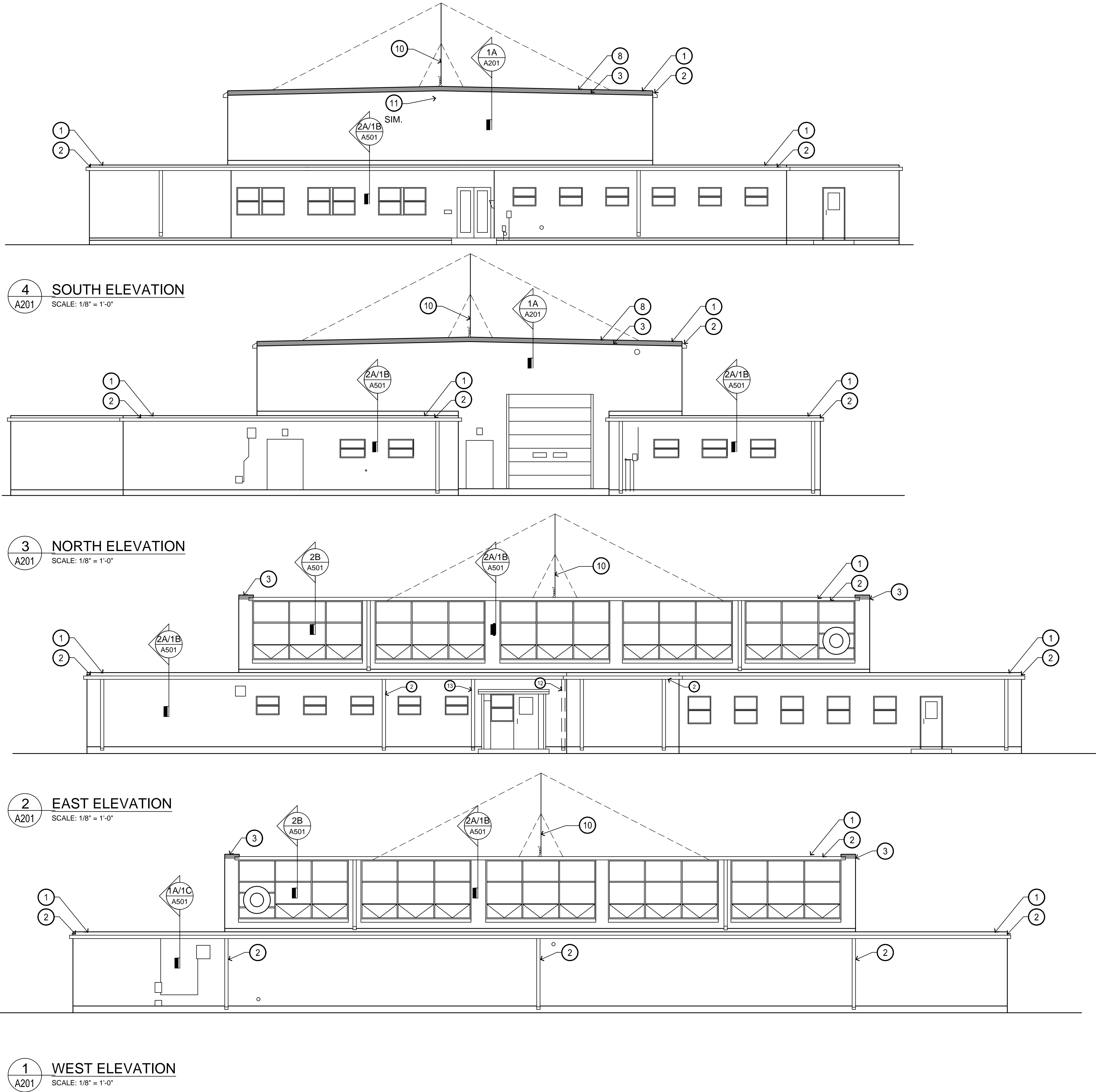
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ROOF PLAN

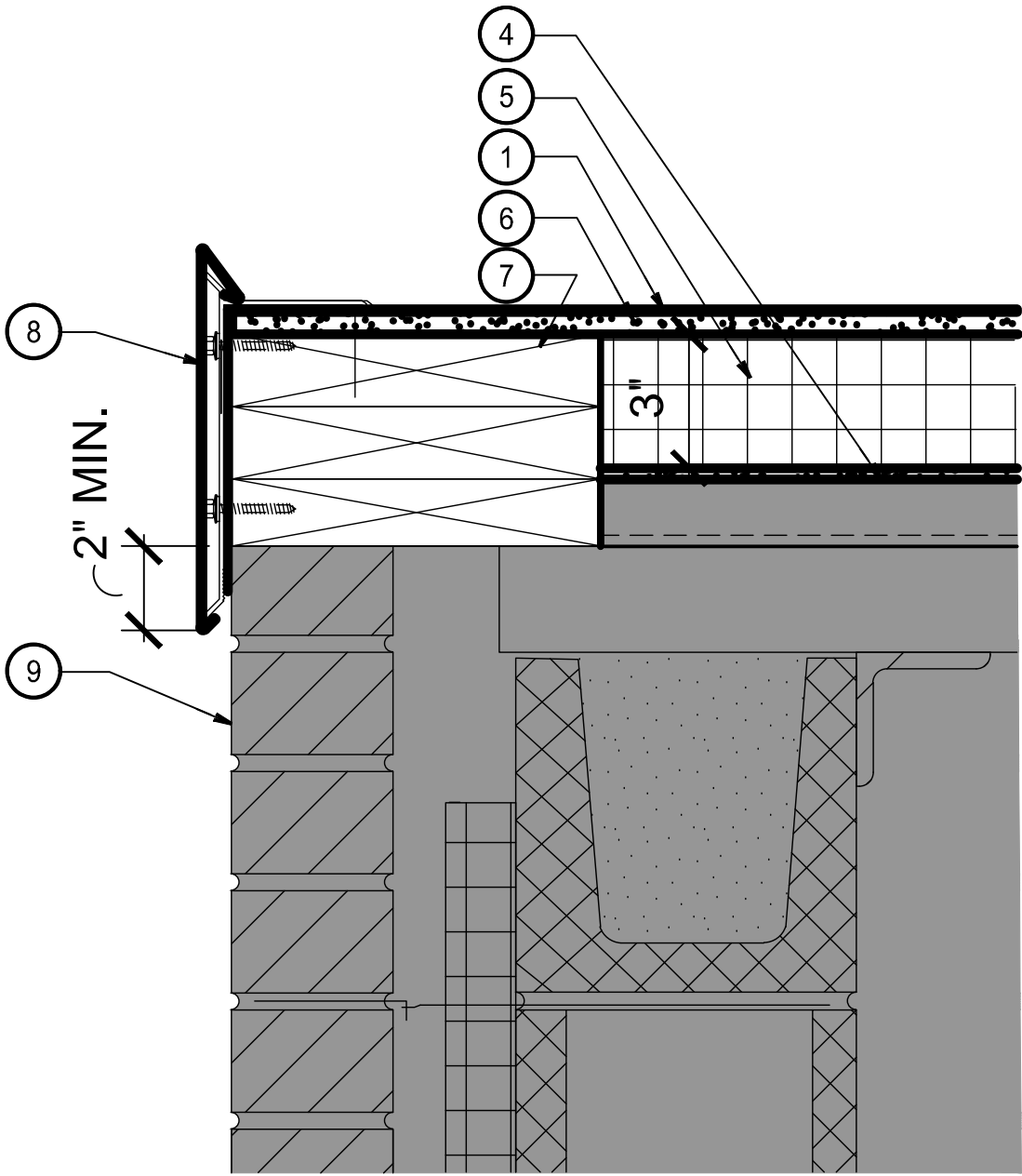
SHEET NUMBER:

A104

7 OF 12 SHEETS
August 1, 2019



- KEYNOTES**
- 1 NEW FULLY ADHERED TPO ROOFING ASSEMBLY
 - 2 REPLACE EXISTING ROOF GUTTER AND DOWNSPOUT ASSEMBLY
 - 3 REPLACED DAMAGED BRICK - HATCH INDICATES APPROXIMATE EXTENT OF DAMAGE
 - 4 PROTECT EXISTING METAL ROOF DECK
 - 5 NEW TAPERED INSULATION - 3" MIN. AT ROOF EDGE
 - 6 COVER BOARD OVER TAPERED INSULATION ON 1/4" GYP. SHEATHING
 - 7 TREATED WOOD BLOCKING. MIN. 2X10 - WRAP ALL EXPOSED WOOD WITH METAL CLADDING
 - 8 NEW ROOF EDGE COPING
 - 9 REPAIR EXISTING BRICK AS REQUIRED - REFER TO ELEVATIONS FOR APPROXIMATE EXTENT OF DAMAGE
 - 10 NEW ANTENNA - SEE DETAILS 2/A104 AND 3/A104
 - 11 REMOVE EXISTING ANTENNA, BRACKETS, AND ALL ASSOCIATED ITEMS - PATCH MASONRY.
 - 12 REMOVE DOWNSPOUT AND RELOCATE
 - 13 NEW DOWNSPOUT LOCATION

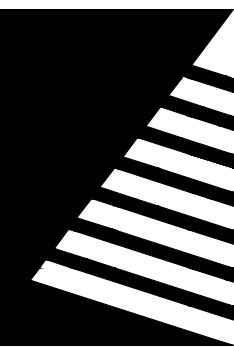


1A A201 ROOF EDGE REPLACEMENT DETAIL
SCALE: 3" = 1'-0"

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DATE: _____

ISSUE DATE: 08/01/2019

CAD DWG FILE:
T1931-01.6312.A201
DRAWN BY: NWK
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DESIGNED BY: BTW


SHEET TITLE:

EXTERIOR
ELEVATIONS

SHEET NUMBER:

A201

8 OF 12 SHEETS
August 1, 2019



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DATE: _____
ISSUE DATE: 08/01/2019

CAD DWG FILE:
T1931-01.6312.A501
DRAWN BY: NWK
CHECKED BY: NRB
DESIGNED BY: BTW

SHEET TITLE:

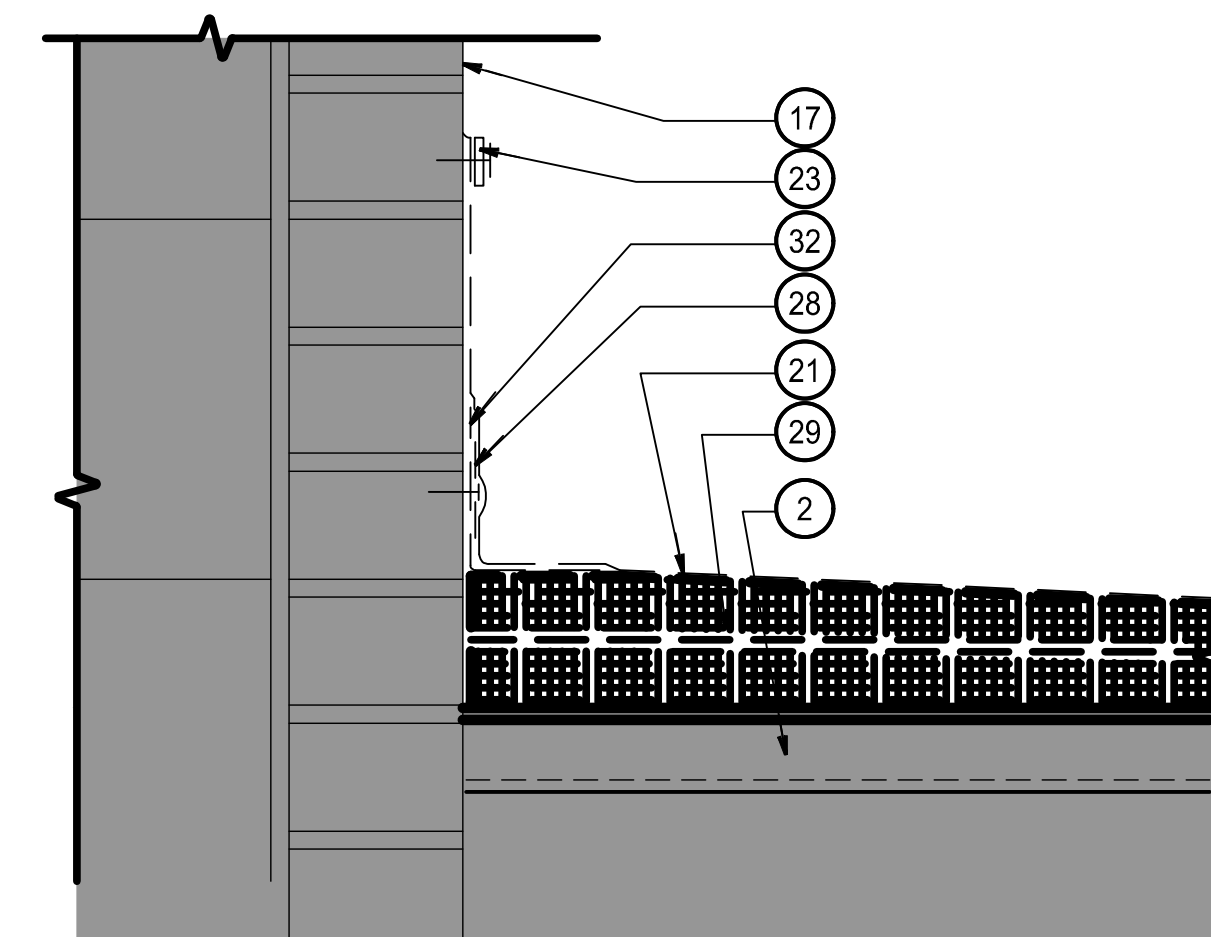
ROOF DETAILS

SHEET NUMBER:

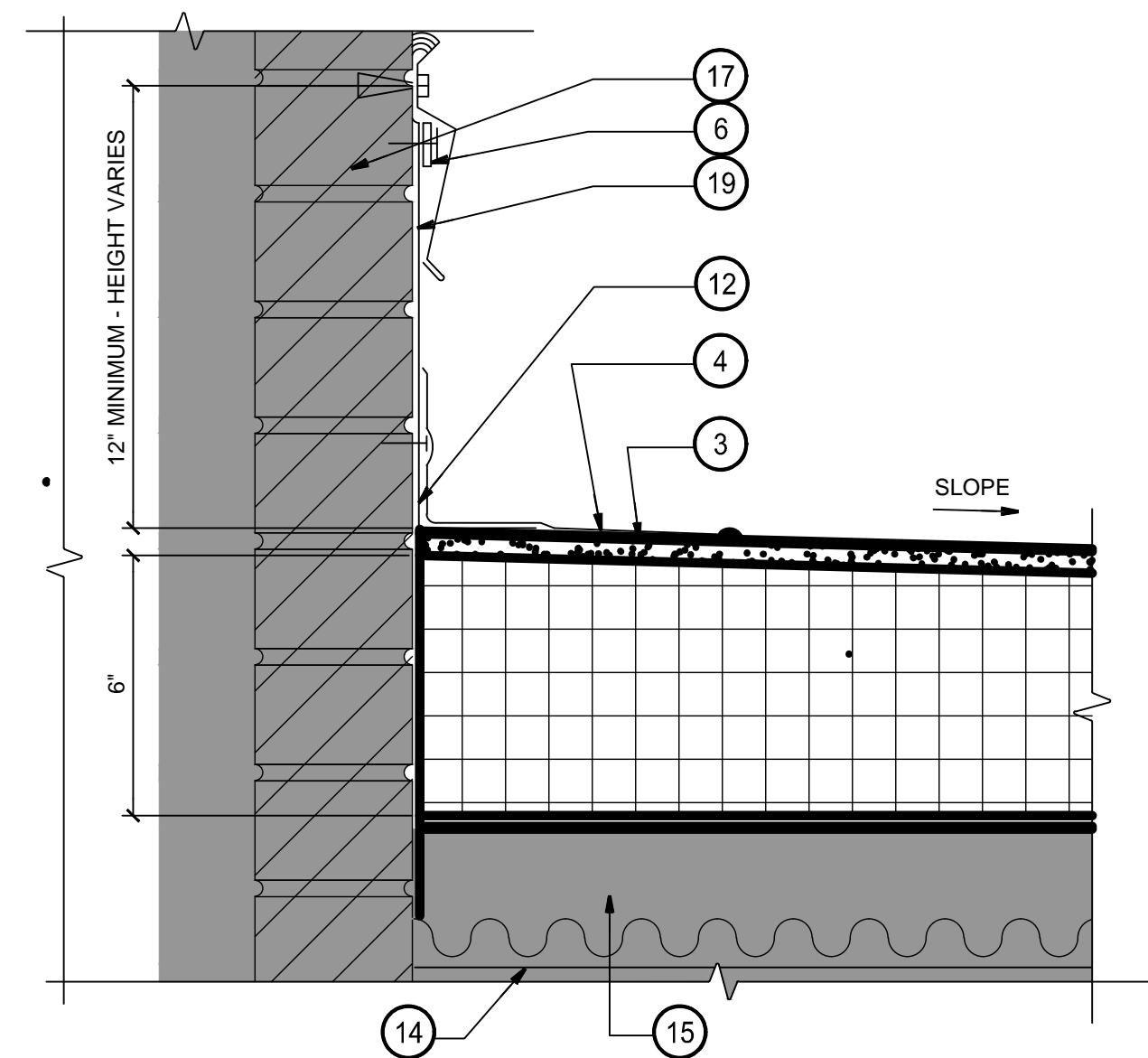
A501

9 OF 12 SHEETS
August 1, 2019

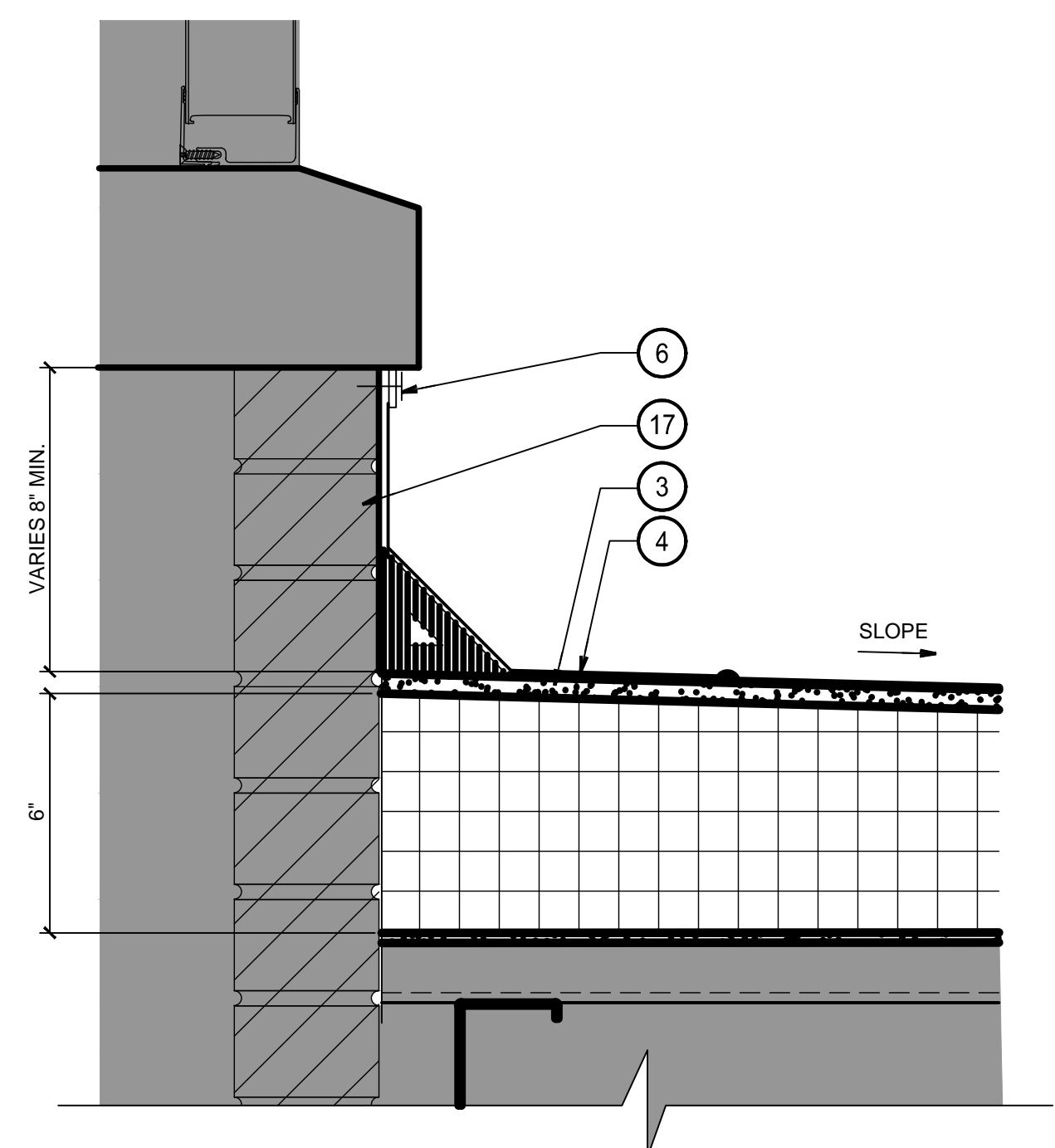
- 1 1/4" GYPSUM SHEATHING (MECHANICALLY FASTENED)
- 2 PROTECT EXISTING TOP OF METAL PAN ON BAR JOIST
- 3 1/2" COVER BOARD OVER MINIMUM 3" TAPERED INSULATION AT ROOF EDGE
- 4 NEW FULLY ADHERED TPO ROOFING ASSEMBLY
- 5 REPLACE ALL EXISTING WOOD WITH TREATED 2x BLOCKING. ATTACH TO EXISTING STRUCTURE - EXISTING STRUCTURE TO BE FIELD VERIFIED, SEE DETAILS ON SHEET S100 - WRAP ALL EXPOSED WOOD WITH METAL CLADDING
- 6 NEW T-BAR AND SEALANT
- 7 NEW GUTTER STRAP
- 8 NEW METAL GUTTER AND DOWNSPOUT TO MATCH EXISTING SIZE, PROFILE, AND COLOR.
- 9 EXTEND EXISTING METAL CURB (VERIFY HEIGHT ABOVE ROOF REQUIREMENTS WITH HVAC UNIT MANUFACTURERS WARRANTY - ADJUST TO MEET MANUFACTURERS REQUIREMENT)
- 10 REPLACE EXISTING TREATED WOOD NAILER WITH NEW
- 11 NEW GALVANIZED COUNTER FLASHING FASTENED 24" OC
- 12 REINFORCED FASTENING STRIP
- 13 REPLACE EXISTING 1" RIGID INSULATION
- 14 PROTECT TOP OF BAR JOIST
- 15 PROTECT EXISTING CONCRETE
- 16 PROTECT EXISTING 4" STEEL ANGLE
- 17 PROTECT EXISTING BRICK WALL
- 18 NOT USED.
- 19 NEW CONTINUOUS PREFINISHED METAL COUNTERFLASHING
- 20 REMOVE EXISTING INSULATION (MECHANICALLY FASTENED)
- 21 REMOVE EXISTING MEMBRANE ROOF ASSEMBLY
- 22 REMOVE ALL EXISTING WOOD WITH METAL CLADDING
- 23 REMOVE EXISTING T-BAR AND SEALANT
- 24 REMOVE EXISTING METAL GUTTER ASSEMBLY
- 25 PROTECT EXISTING FACE BRICK TO REMAIN
- 26 PROTECT EXISTING CONCRETE
- 27 REMOVE OR REPLACE EXISTING TREATED WOOD NAILER WITH NEW
- 28 REMOVE OR REPLACE EXISTING 2" SEAM PLATE AND FASTENER
- 29 REMOVE EXISTING INSULATION (MECHANICALLY FASTENED)
- 30 PROTECT EXISTING 4" STEEL ANGLE
- 31 REMOVE BLOCKING
- 32 REMOVE REINFORCED FASTENING STRIP
- 33 EXTEND EXISTING METAL CURB TO ACCOMMODATE NEW ROOF INSULATION (VERIFY HEIGHT ABOVE ROOF REQUIREMENTS WITH HVAC UNIT MANUFACTURERS WARRANTY - ADJUST TO MEET MANUFACTURERS REQUIREMENT)
- 34 REPAIR BRICK AS REQUIRED - REFER TO ELEVATIONS ON A-201 FOR APPROXIMATE EXTENT OF DAMAGE
- 35 REPLACE EXISTING WOOD FASCIA BOARD WITH 2X TREATED WOOD FASCIA BOARD - WRAP IN METAL CLADDING



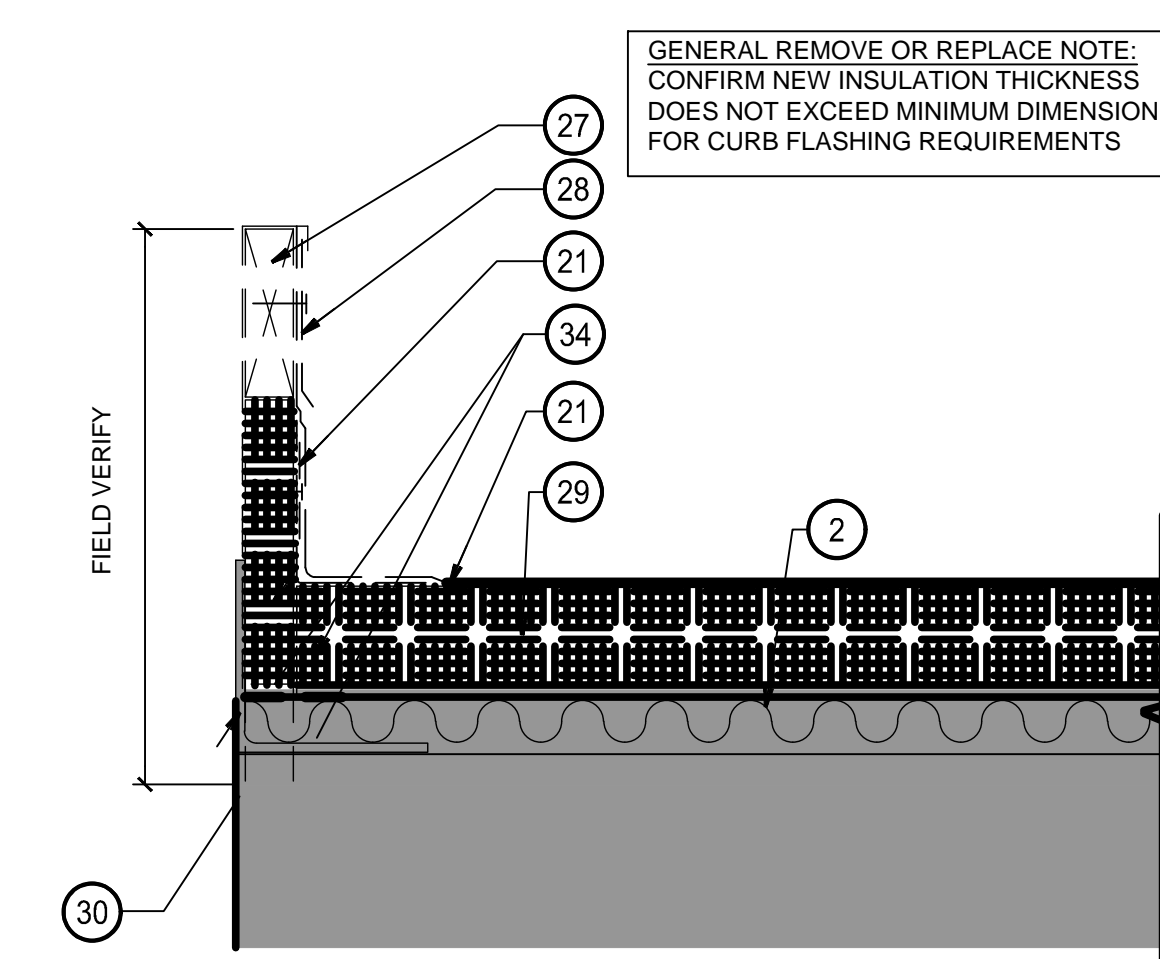
(DEMO)
4A PARAPET FLASHING DETAIL
A501 SCALE: 3" = 1'-0"



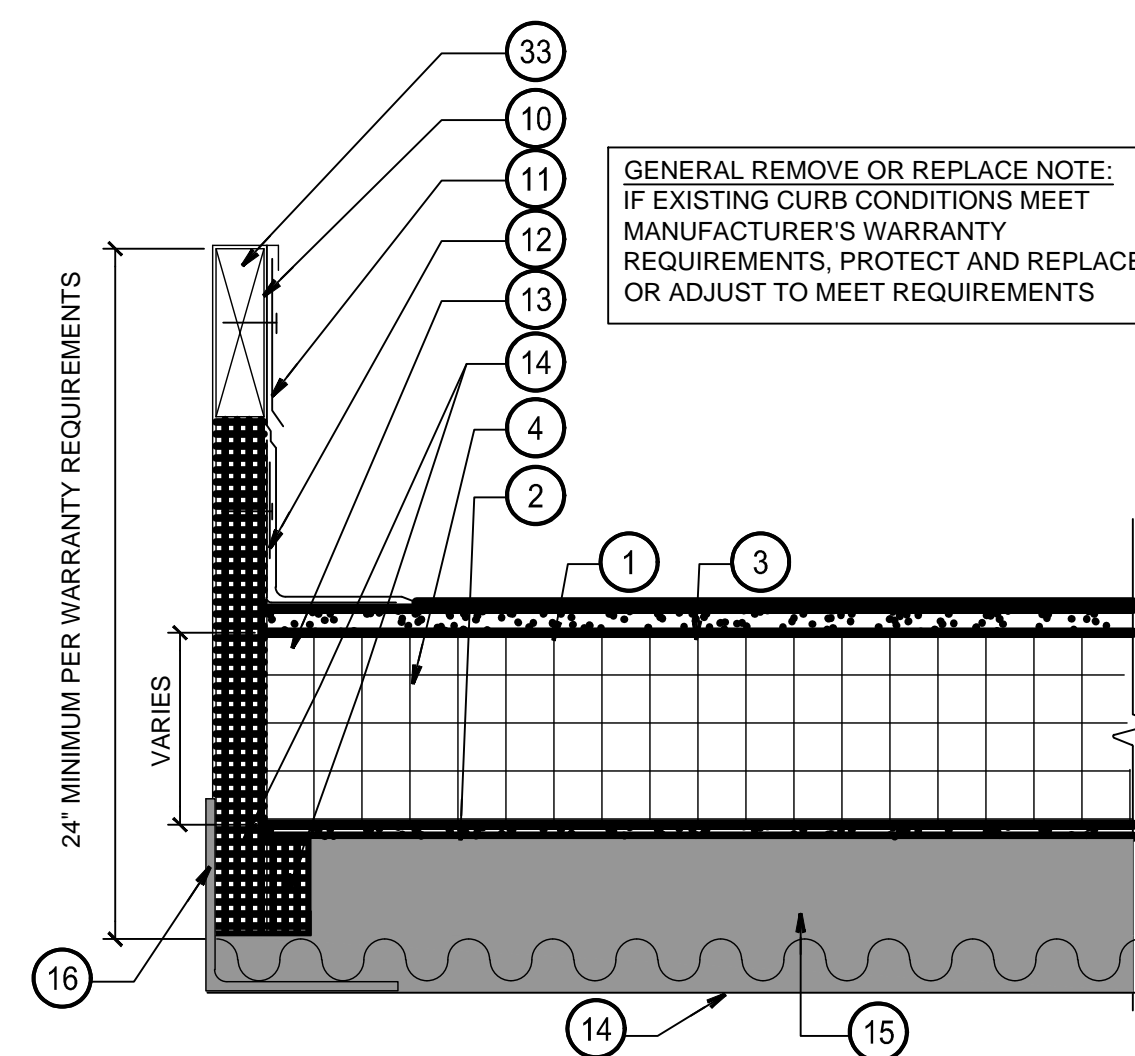
3C FLASHING AT BRICK DETAIL ON CONC. DECK
A501 SCALE: 3" = 1'-0"



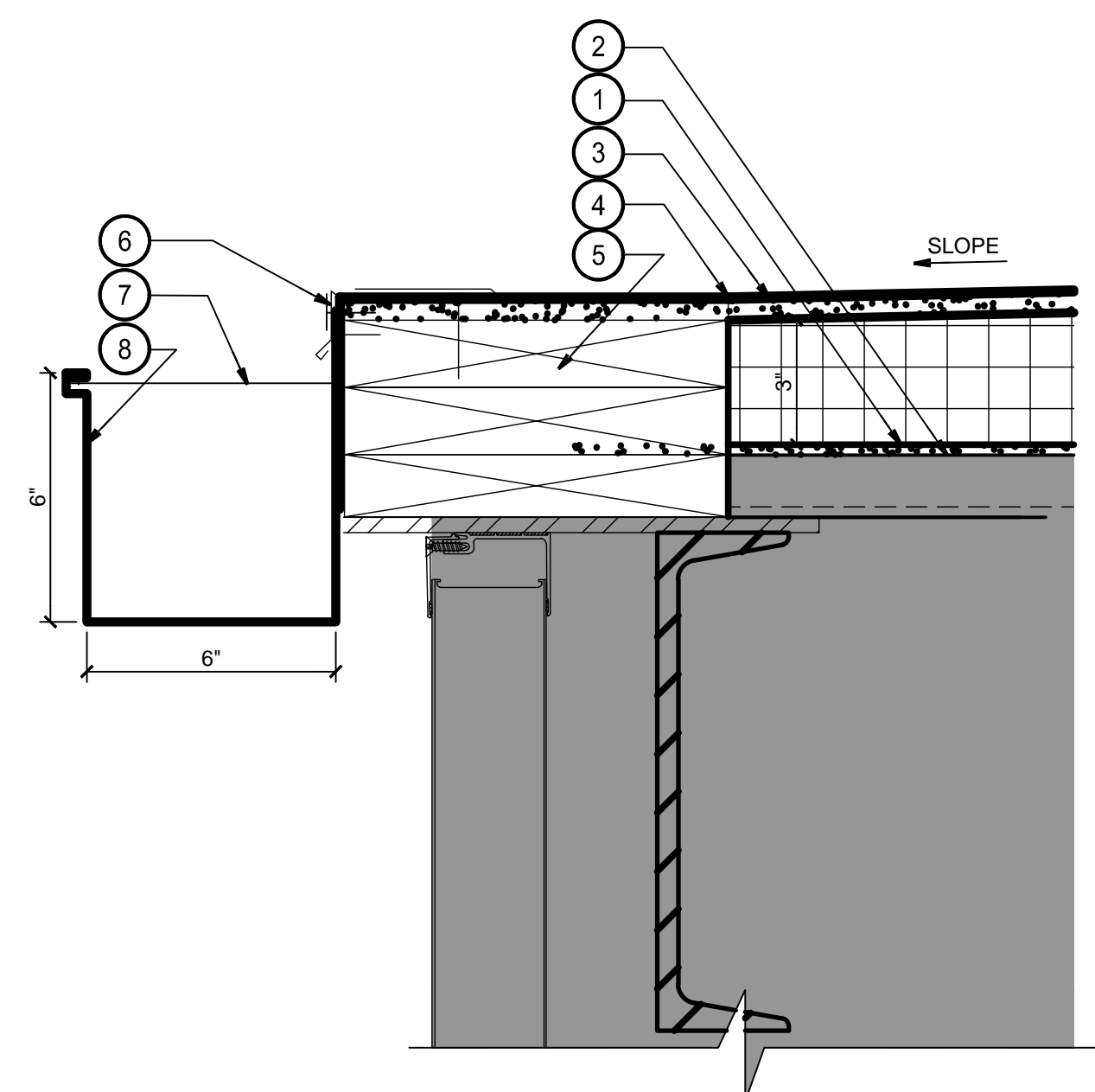
3B FLASHING AT BRICK DETAIL ON MTL DECK
A501 SCALE: 3" = 1'-0"



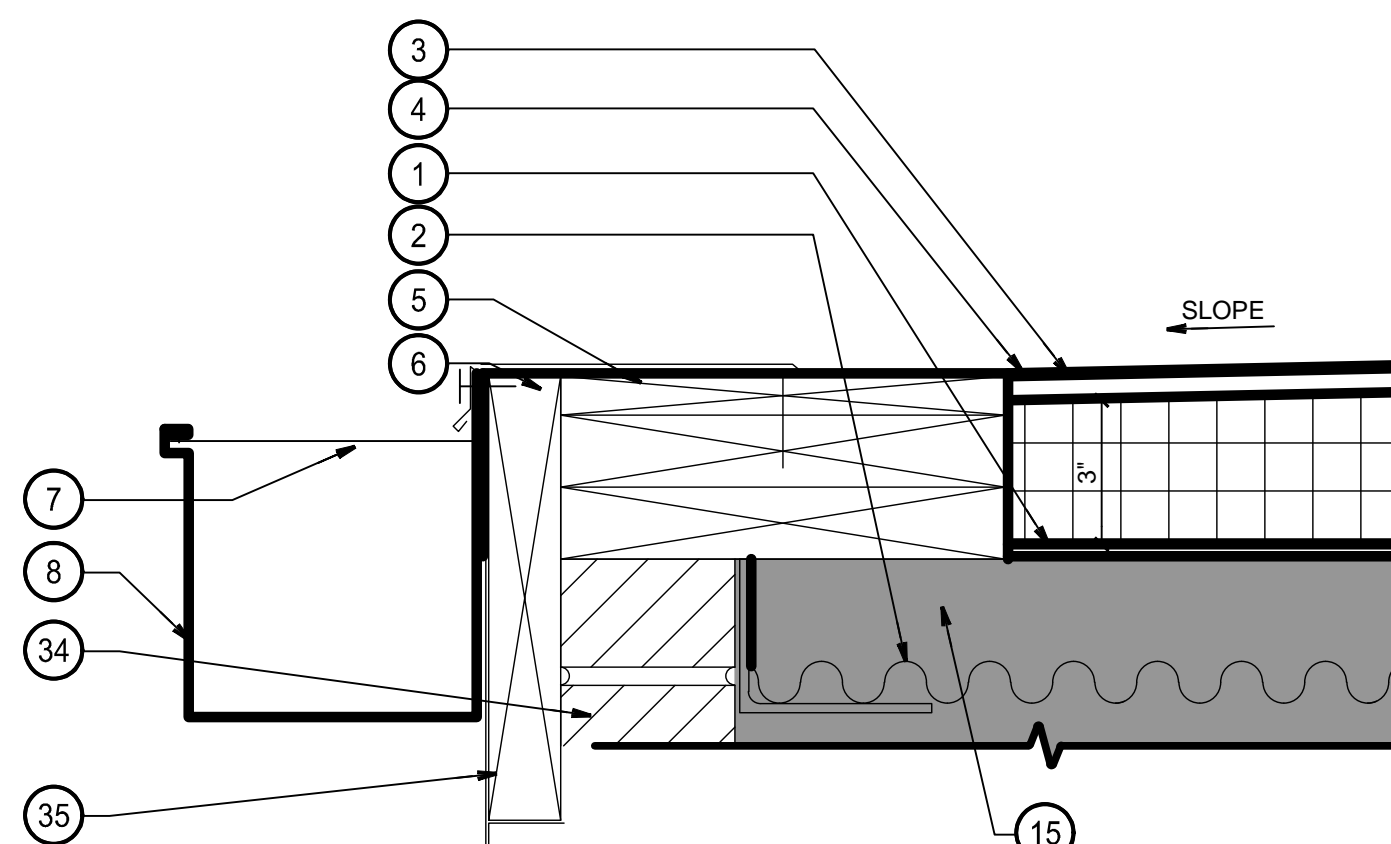
(DEMO)
3A HVAC CURB FLASHING DETAIL
A501 SCALE: 3" = 1'-0"



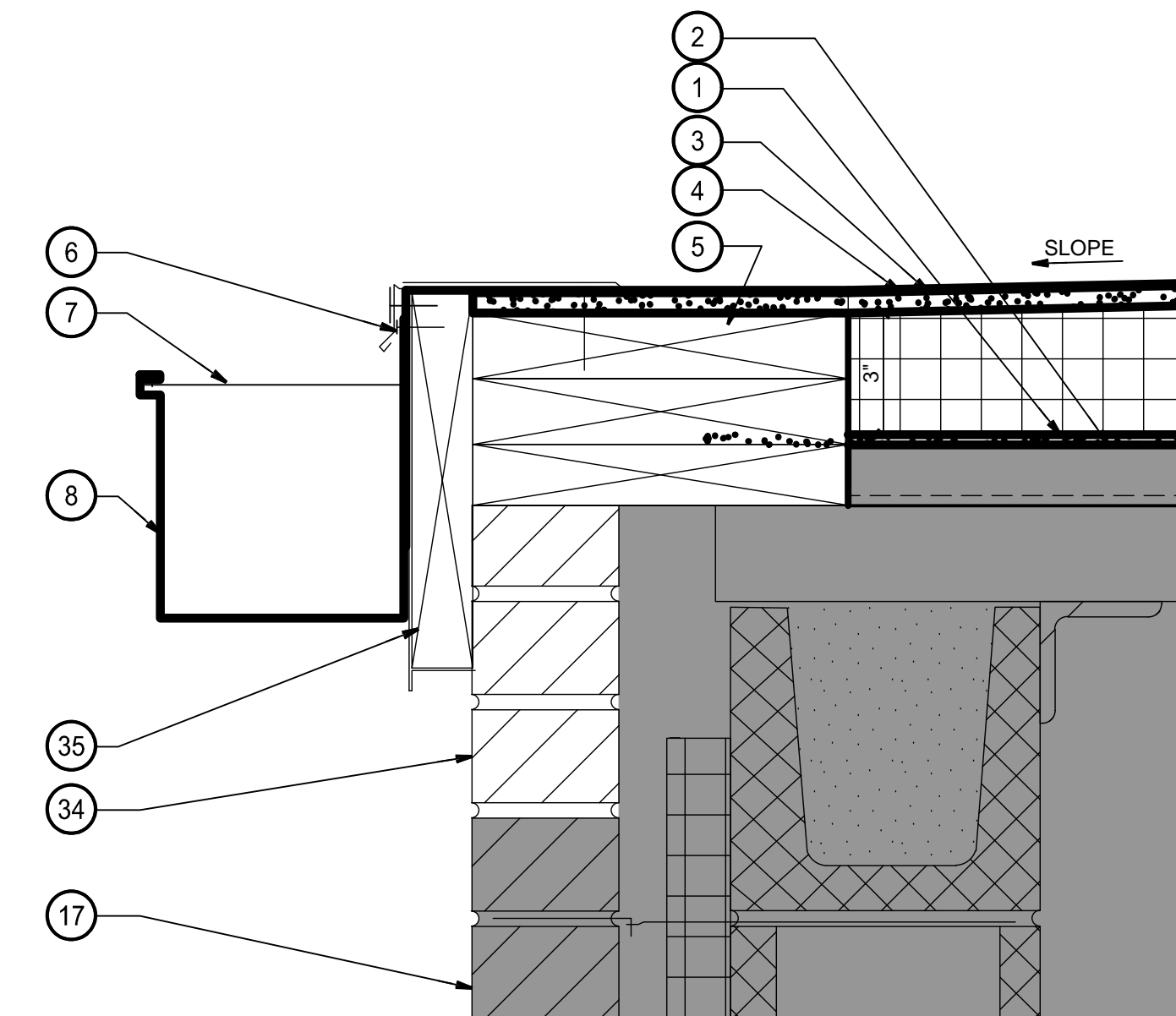
2C HVAC CURB FLASHING DETAIL ON CONC. DECK
A501 SCALE: 3" = 1'-0"



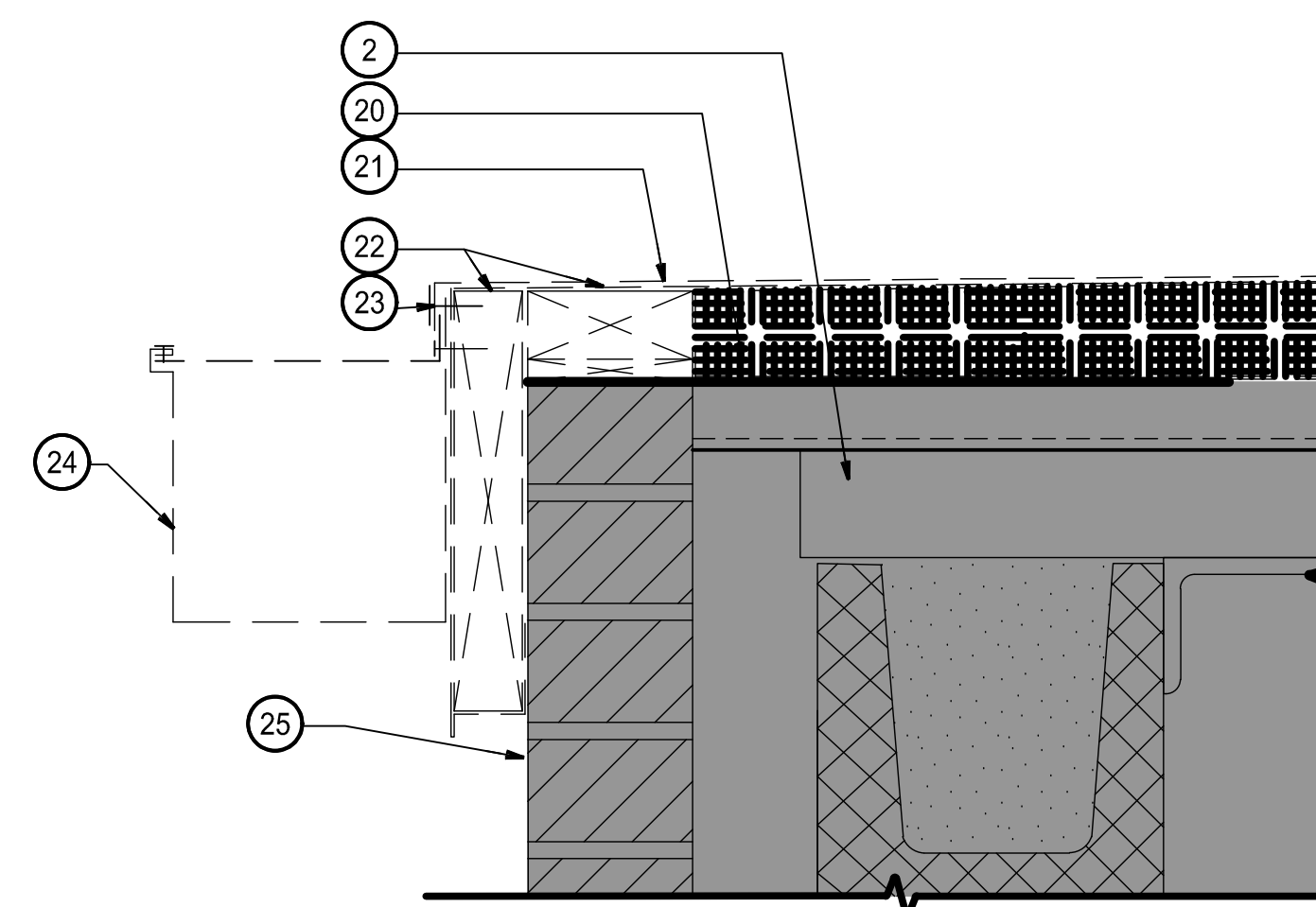
2B ROOF EDGE AND GUTTER DETAIL ON MTL DECK
A501 SCALE: 3" = 1'-0"



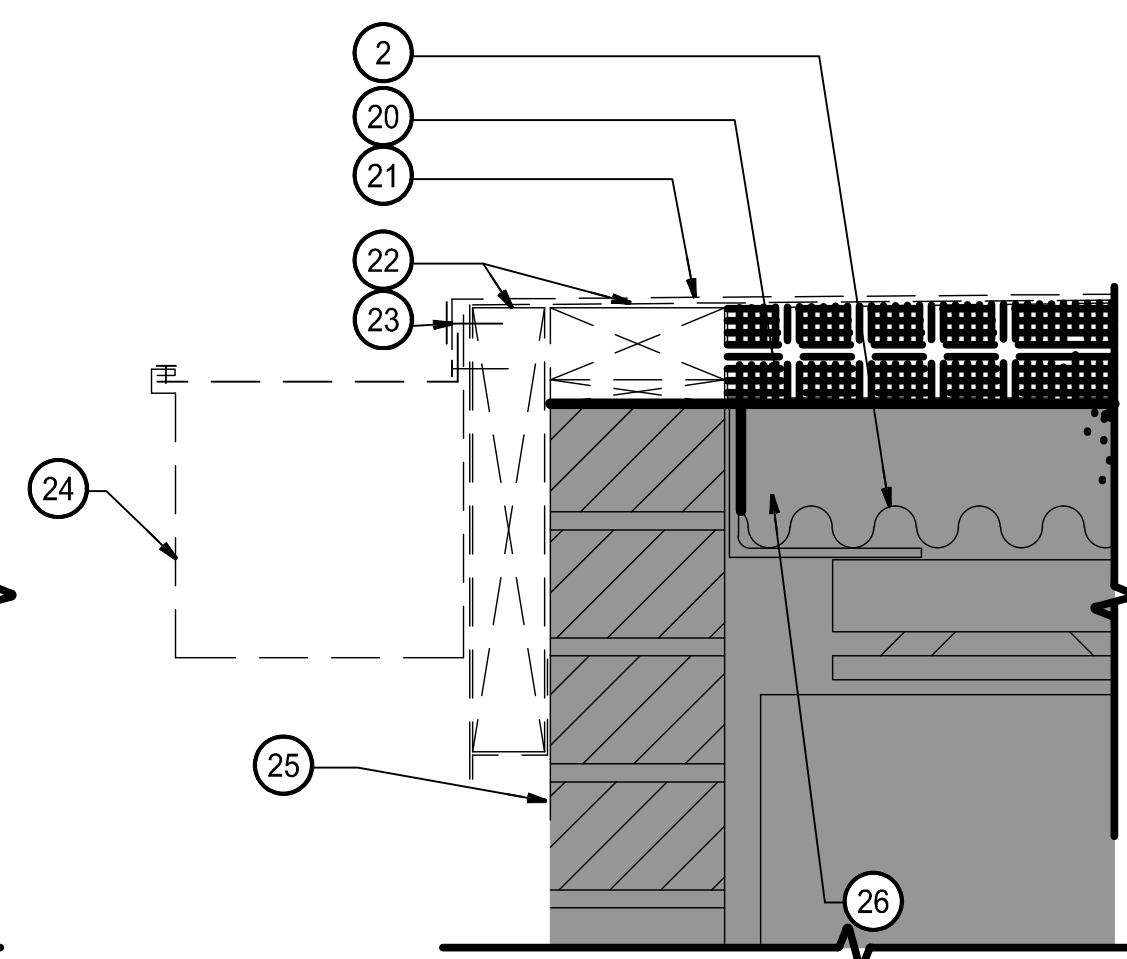
1C ROOF EDGE AND GUTTER DETAIL ON CONC. DECK
A501 SCALE: 3" = 1'-0"



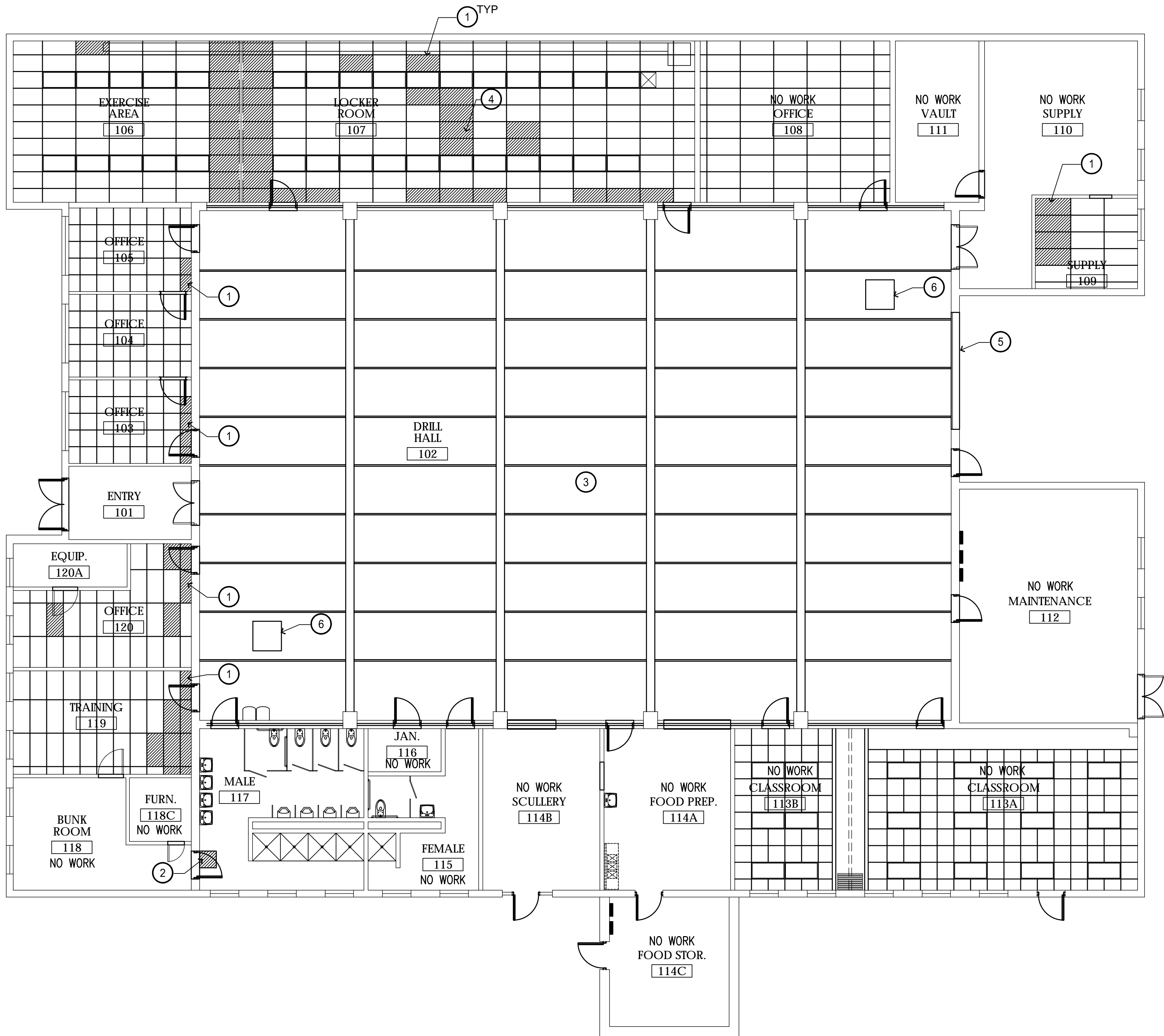
1B ROOF EDGE AND GUTTER DETAIL ON MTL DECK
A501 SCALE: 3" = 1'-0"



(DEMO)
1A ROOF EDGE AND EXISTING GUTTER DETAIL
A501 SCALE: 3" = 1'-0"



(DEMO)
2A ROOF EDGE AND EXISTING GUTTER DETAIL
A501 SCALE: 3" = 1'-0"



GENERAL NOTES

1. REINSTALL ANY CEILING FIXTURES AS REQUIRED BY REPAIR WORK AND REPLACEMENT OF CEILING TILE

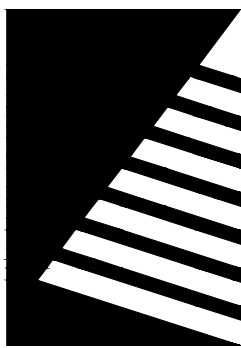
KEYNOTES

- 1 REPLACE CEILING TILE - HATCH INDICATES DAMAGED TILES TO BE REPLACED
- 2 PATCH AND REPAIR HARD CEILING - PAINT
- 3 PAINT CEILING/EXPOSED BRICK - SEE INTERIOR DRAWINGS
- 4 REINSTALL SMOKE DETECTOR
- 5 INSTALL NEW GARAGE DOOR AND DOOR OPENER
- 6 UNIT HEATER - RECONNECT UNIT AND REPLACE FLUE. ROUTE THROUGH EXISTING OPENING IN ROOF DECK ABOVE

STATE OF MISSOURI
MICHAEL L. PARSON,
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ISSUE DATE: 08/01/2019

CAD DWG FILE:
T1931-01.6312.A701
DRAWN BY: NWK
CHECKED BY: NRB
DESIGNED BY: BTW

SHEET TITLE:

REFLECTED
CEILING PLAN

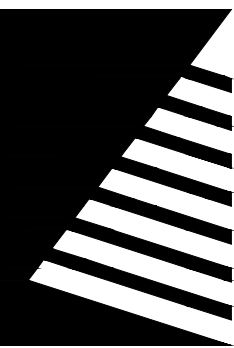
SHEET NUMBER:

A701

10 OF 12 SHEETS
August 1, 2019



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CAD DWG FILE:
T1931-01.6312.1101
DRAWN BY: SLV
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DESIGNED BY: SLV

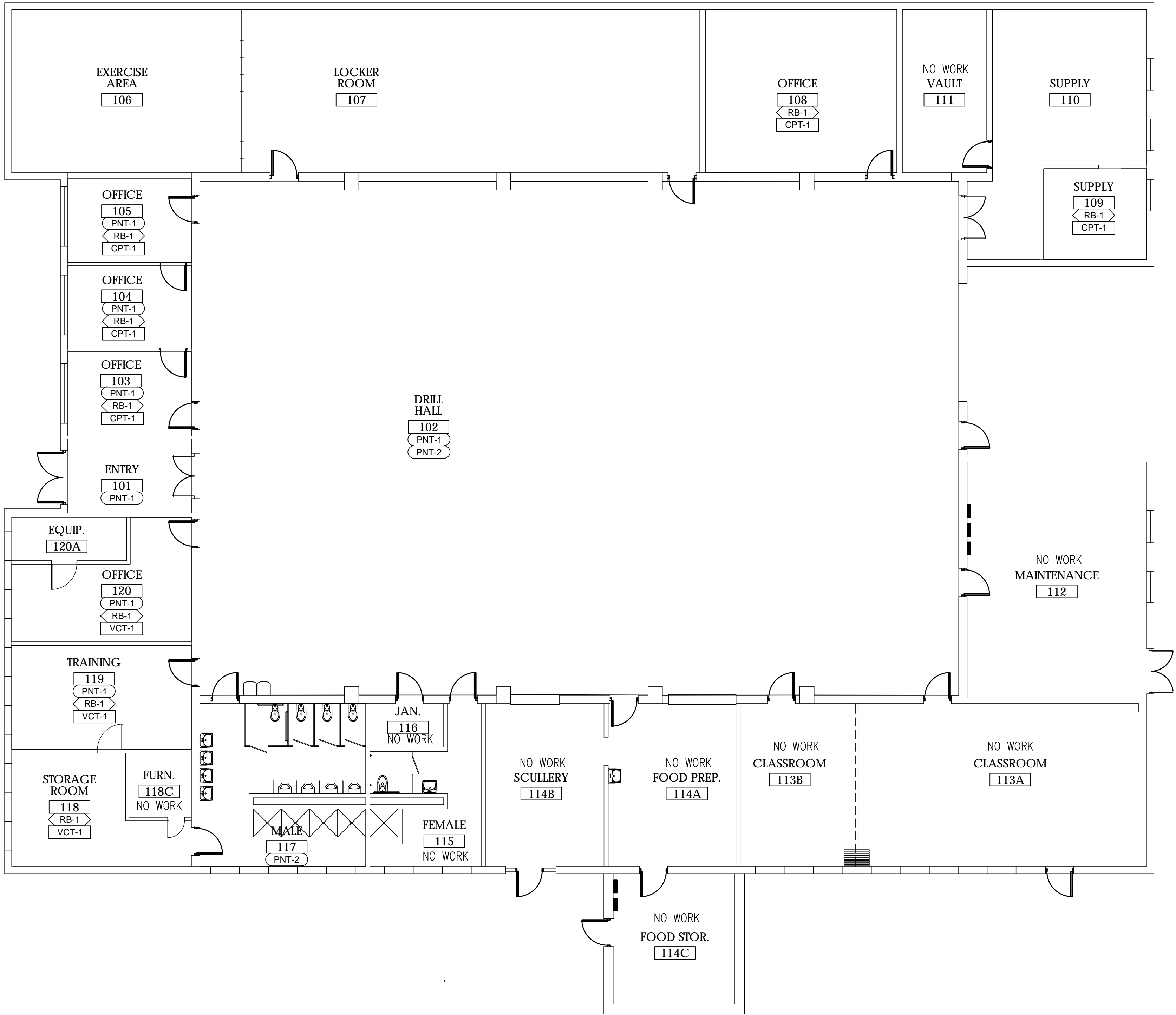
SHEET TITLE:

INTERIOR
FINISH PLAN

SHEET NUMBER:

I101

11 OF 12 SHEETS
August 1, 2019



| FINISH SCHEDULE | | | | | | | | | | | |
|--------------------------------------|------------------------|----------------------------|-----------------------------------|-----------|-------|--------|-------|---|----------|----------------------|-----------------|
| BASIS OF DESIGN WALL FINISH | | | | | | | | | | | |
| TAG | DESCRIPTION | MANUFACTURER | PRODUCT LINE / MODEL NUMBER | SIZE | COLOR | FINISH | GROUT | | LOCATION | SUPPLIER / INSTALLER | REMARKS / NOTES |
| PNT-1 | PAINT | SHERWIN WILLIAMS | - | - | TBD | TBD | - | - | - | - | - |
| PNT-2 | PAINT | SHERWIN WILLIAMS | - | - | TBD | TBD | - | - | - | - | - |
| | | | | | | | | | | | |
| BASIS OF DESIGN WALL BASE FINISH | | | | | | | | | | | |
| TAG | DESCRIPTION | MANUFACTURER | PRODUCT LINE / MODEL NUMBER | SIZE | COLOR | FINISH | GROUT | | LOCATION | SUPPLIER / INSTALLER | REMARKS / NOTES |
| RB-1 | RUBBER BASE | JOHNSONITE | 4" COVE | ROLL | TBD | - | - | - | - | - | - |
| | | | | | | | | | | | |
| BASIS OF DESIGN FLOORING FINISH | | | | | | | | | | | |
| TAG | DESCRIPTION | MANUFACTURER | PRODUCT LINE / MODEL NUMBER | SIZE | COLOR | FINISH | GROUT | | LOCATION | SUPPLIER / INSTALLER | REMARKS / NOTES |
| CPT-1 | CARPET TILE | MANNINGTON | SCRIPT INFINITY | 24"x24" | TBD | - | - | - | - | - | - |
| VCT-1 | VINYL COMPOSITION TILE | ARMSTRONG WORLD INDUSTRIES | STANDARD EXCELON IMPERIAL TEXTURE | 12"x12" | TBD | - | - | - | - | - | - |
| | | | | | | | | | | | |
| BASIS OF DESIGN MISCELLANEOUS FINISH | | | | | | | | | | | |
| TAG | DESCRIPTION | MANUFACTURER | PRODUCT LINE / MODEL NUMBER | SIZE | COLOR | FINISH | GROUT | | LOCATION | SUPPLIER / INSTALLER | REMARKS / NOTES |
| ACT-1 | ACOUSTIC CEILING TILE | ARMSTRONG | ULTIMA | 24" x 48" | WHITE | - | - | - | - | - | - |

NOTE: PRODUCTS SHOWN IN SCHEDULE ARE BASIS OF DESIGN UNLESS OTHERWISE NOTED. SEE SPECIFICATIONS FOR ACCEPTABLE ALTERNATE MANUFACTURERS.

| ROOM FINISH SCHEDULE | | | | | | | | | | | | | | |
|----------------------|---------------|-------|------|-------|----------|-------|----------|-------|----------|-------|----------|---------|--------|---|
| ROOM NO. | NAME | FLOOR | BASE | WALLS | | | | | | | | CEILING | | REMARKS |
| | | | | EAST | | NORTH | | SOUTH | | WEST | | FIN | HEIGHT | |
| | | | | MAT'L | FIN | MAT'L | FIN | MAT'L | FIN | MAT'L | FIN | | | |
| FIRST FLOOR | | | | | | | | | | | | | | |
| 101 | ENTRY | - | - | - | PNT-1 | - | PNT-1 | - | PNT-1 | - | PNT-1 | - | - | |
| 102 | DRILL HALL | - | - | - | PNT-1 | - | PNT-1 | - | PNT-1 | - | PNT-1 | PNT-2 | - | |
| 103 | OFFICE | CPT-1 | RB-1 | - | PNT-1 | - | PNT-1 | - | PNT-1 | - | PNT-1 | ACT-1 | - | CEILING TO BE REPLACED IN INDICATED AREAS |
| 104 | OFFICE | CPT-1 | RB-1 | - | PNT-1 | - | PNT-1 | - | PNT-1 | - | PNT-1 | ACT-1 | - | CEILING TO BE REPLACED IN INDICATED AREAS |
| 105 | OFFICE | CPT-1 | RB-1 | - | PNT-1 | - | PNT-1 | - | PNT-1 | - | PNT-1 | ACT-1 | - | CEILING TO BE REPLACED IN INDICATED AREAS |
| 106 | EXERCISE AREA | - | - | - | - | - | - | - | - | - | - | ACT-1 | - | CEILING TO BE REPLACED IN INDICATED AREAS |
| 107 | LOCKER ROOM | - | - | - | - | - | - | - | - | - | - | ACT-1 | - | CEILING TO BE REPLACED IN INDICATED AREAS |
| 108 | OFFICE | CPT-1 | RB-1 | - | - | - | - | - | - | - | - | ACT-1 | - | CEILING TO BE REPLACED IN INDICATED AREAS |
| 109 | SUPPLY | CPT-1 | RB-1 | - | EXISTING | - | EXISTING | - | EXISTING | - | EXISTING | ACT-1 | - | CEILING TO BE REPLACED IN INDICATED AREAS |
| 110 | SUPPLY | - | - | - | - | - | - | - | - | - | - | - | - | |
| 111 | VAULT | - | - | - | - | - | - | - | - | - | - | - | - | |
| 112 | MAINTENANCE | - | - | - | - | - | - | - | - | - | - | - | - | |
| 113A | CLASSROOM | - | - | - | - | - | - | - | - | - | - | - | - | |
| 113B | CLASSROOM | - | - | - | - | - | - | - | - | - | - | - | - | |
| 114A | FOOD PREP | - | - | - | - | - | - | - | - | - | - | - | - | |
| 114B | SCULLERY | - | - | - | - | - | - | - | - | - | - | - | - | |
| 114C | FOOD STOR. | - | - | - | - | - | - | - | - | - | - | - | - | |
| 115 | FEMALE | - | - | - | - | - | - | - | - | - | - | - | - | |
| 116 | JAN. | - | - | - | - | - | - | - | - | - | - | - | - | |
| 117 | MALE | - | - | - | - | - | - | - | - | - | - | PNT-2 | - | CEILING TO BE PATCHED IN INDICATED AREAS |
| 118 | STORAGE ROOM | VCT-1 | RB-1 | - | - | - | - | - | - | - | - | - | - | |
| 118C | FURN. | - | - | - | - | - | - | - | - | - | - | - | - | |
| 119 | TRAINING | VCT-1 | RB-1 | - | PNT-1 | - | PNT-1 | - | PNT-1 | - | PNT-1 | ACT-1 | - | CEILING TO BE REPLACED IN INDICATED AREAS |
| 120 | OFFICE | VCT-1 | RB-1 | - | - | - | PNT-1 | - | - | - | - | ACT-1 | - | CEILING TO BE REPLACED IN INDICATED AREAS |
| 120A | EQUIP. | - | - | - | - | - | - | - | - | - | - | - | - | |

INTERIOR SYMBOL LEGEND

| | |
|--|--|
| | WALL FINISH |
| | ACCENT WALL FINISH |
| | WALL BASE |
| | FLOOR FINISH |
| | FLOOR MATERIAL TRANSITION |
| | ALIGN TRANSITION WITH ADJACENT ITEM |
| | PATTERN/LINEAR DIRECTION |
| | CASEWORK COUNTER/TRANSITION TOP FINISH |
| | CASEWORK BASE AND UPPER CABINET FINISH |
| | MISCELLANEOUS FINISH |
| | INTERIOR SIGNAGE |
| | CORNER GUARD / END WALL GUARD |
| | WINDOW TREATMENT |
| | ROLLER SHADE |
| | DRAPERY / DECORATIVE CURTAIN |
| | VALANCE / CORNICE |
| | CUBICLE CURTAIN & TRACK |

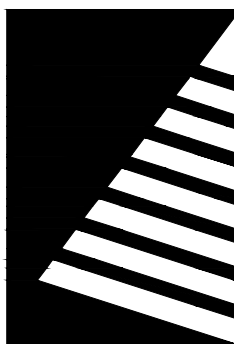
FINISH ABBREVIATION LEGEND

| | | | |
|--------------------------------|------------------------------|--------------------|----------------------------|
| AB | ALUMINUM WALL BASE | NA | NOT APPLICABLE |
| ACT | ACOUSTICAL CEILING TILE | NS | NATURAL STONE |
| ADJ | ADJACENT | PNT | PAINT |
| AFF | ABOVE FINISHED FLOOR | PFIN | PREFINISHED |
| AL | ALUMINUM | QTZ | QUARTZ COUNTERTOP |
| AP | ACOUSTIC WALL PANEL | RB | RESILIENT WALL BASE |
| BBT | BIOBASED TILE | RPS | RESIN PANEL SYSTEM |
| CG | CORNER GUARD | RM | ROCK MULCH |
| CJ | CONTROL JOINT | RVT | RESILIENT VINYL TILE |
| CMU | CONCRETE MASONRY UNIT | SF | SQUARE FEET (FOOT) |
| CON | CONCRETE FLOORING | SS | SOLID SURFACE |
| CR | CARD READER | SST | STAINLESS STEEL |
| CPT | CARPET | SSV | SPECIALTY SHEET VINYL |
| CS | CULTURED STONE | ST | STAIN |
| CT | CERAMIC TILE | SV | SHEET VINYL |
| DG | DOOR FRAME GUARD | SVT | SPECIALTY VINYL TILE |
| EG | END WALL GUARD | T | TILE FLOORING/ WALL / WALL |
| EM | ENTRY MAT SYSTEM | | BASE (CERAMIC, PORCELAIN, |
| EPX | EPOXY FLOORING | | GLASS) |
| EX | EXISTING | TP | TOILET PARTITION |
| EXJ | EXPANSION JOINT | TR | DECORATIVE WOOD TRIM / |
| EXP | EXPOSED | | CROWN / BASE MOLDING |
| F | FABRIC | TS | TRANSITION STRIP |
| FRP | FIBERGLASS REINFORCED PANELS | TYP | TYPICAL |
| GLS | DECORATIVE GLASS | TZ | TERAZZO FLOORING |
| GLS | GROUT | UFIN | UNFINISHED |
| GYP | GYPSUM WALL BOARD | UNO | UNLESS NOTED OTHERWISE |
| HR | HAND RAIL | VCT | VINYL COMPOSITION TILE |
| LAM | PLASTIC LAMINATE | VET | VINYL ENCHANCED TILE |
| LF | LINEAR FEET (FOOT) | VIF | VERIFY IN FIELD |
| LIN | LINOLEUM SHEET / TILE | VVC | VINYL WALL COVERING |
| LVT | LUXURY VINYL TILE | WD | WOOD FLOORING |
| MB | MOLDED WALL BASE | WDP | WOOD PANELING / WAINSCOT |
| MTL | METAL | WP | WALL PROTECTION |
| MISC | MISCELLANEOUS | WR | WHITEROCK |
| WINDOW TREATMENT ABBREVIATIONS | | FF&E ABBREVIATIONS | |
| CC | CUBICLE CURTAIN | B | BENCH |
| CCT | CUBICLE CURTAIN TRACK | BED | BED |
| CUR | DECORATIVE CURTAIN | CH | CHAIR |
| HBL | HORIZONTAL BLIND | CR | COAT RACK |
| RBL | ROLLER SHADE | D | DESK |
| ROD | CURTAIN ROD | FL | FLOOR LAMP |
| SHC | SHOWER CURTAIN | KB | KEYBOARD TRAY |
| SHR | SHOWER CURTAIN ROD | MAT | MATTRESS |
| SHT | SHUTTER | MIR | MIRROR |
| VBL | VERTICAL BLIND | NS | NIGHTSTAND |
| VAL | VALANCE / CORNICE | OT | OTTOMAN |
| WF | WINDOW FILM | S | SOFA / LOVESEAT |
| | | SH | SHELVING |
| | | ST | STORAGE UNIT |
| | | T | TABLE |
| | | TL | TABLE LAMP |
| | | TR | TRASH RECEPTACLE |
| | | TV | TV |
| | | UM | PATIO UMBRELLA |

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ASSET # 8136312001

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DATE: _____

ISSUE DATE: 08/01/2019

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DRAWN BY: SLV
CHECKED BY: BTW
DESIGNED BY: SLV

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INTERIOR
FINISH SCHEDULE

SHEET NUMBER:

I601

12 OF 12 SHEETS
August 1, 2019